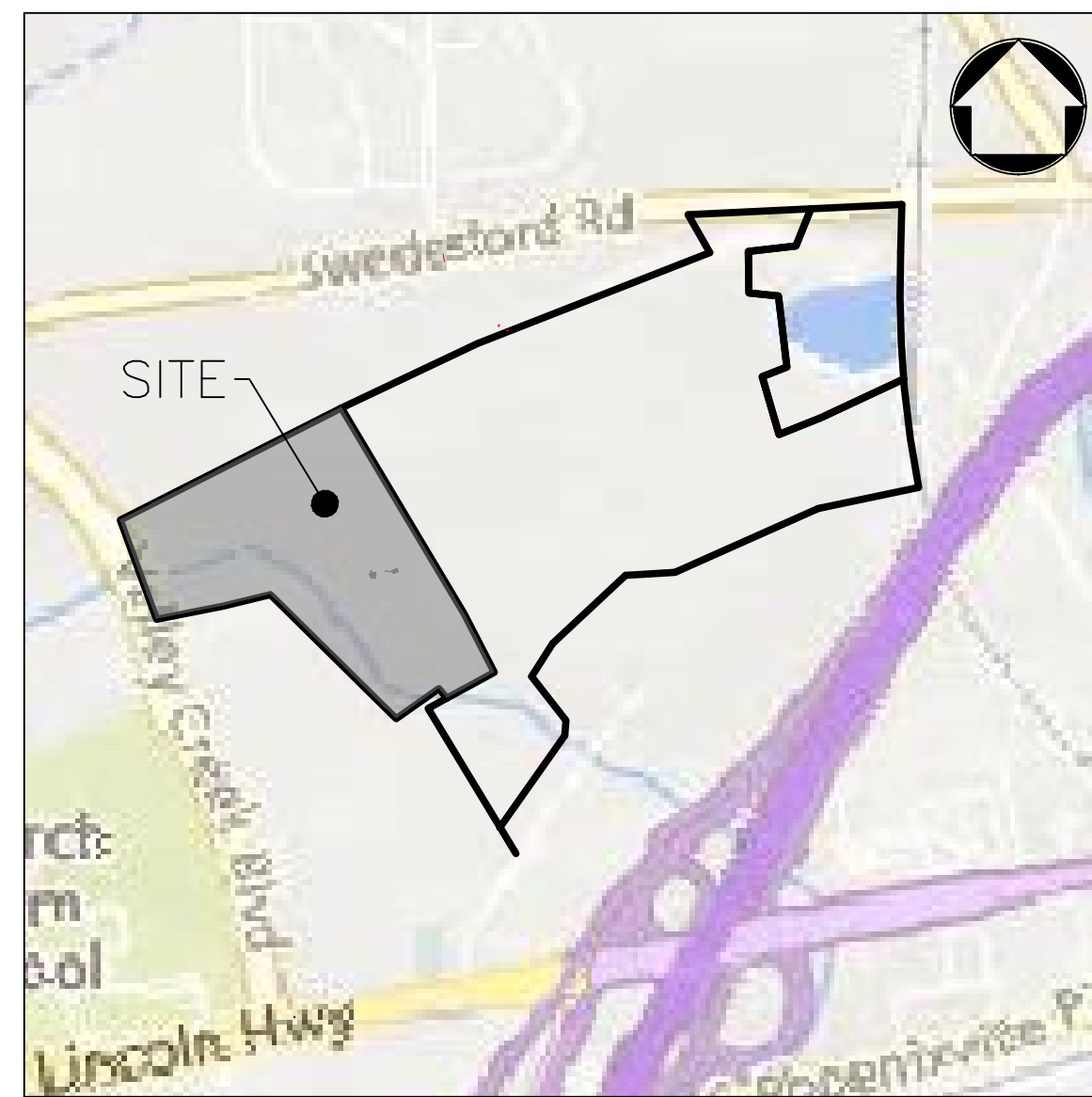


PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

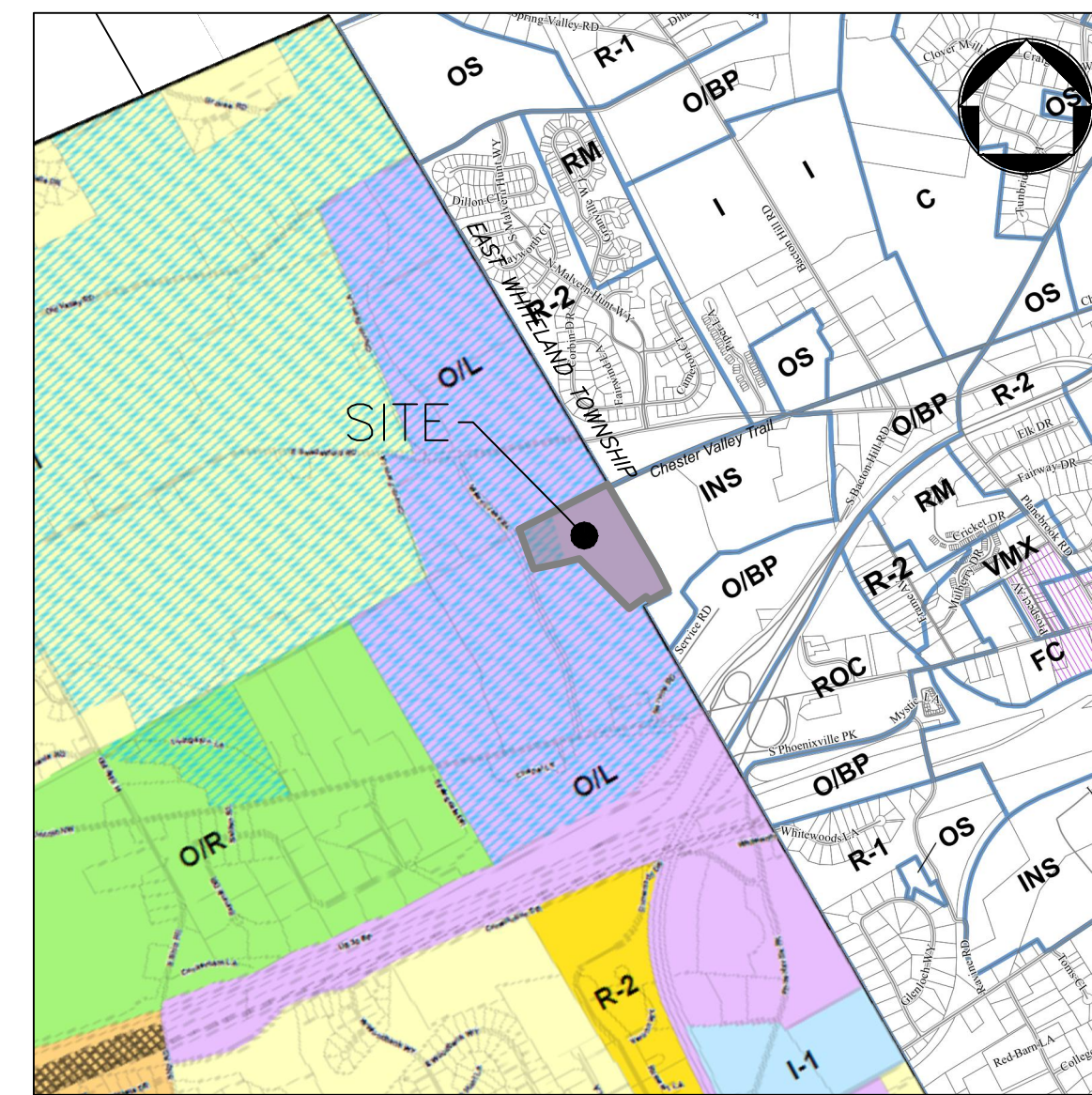
FOR

THE DATA CENTERS

TAX MAP U.P.I. NUMBER: 41-3-4
 O/L OFFICE/LABORATORY USE ZONING DISTRICT
 215 VALLEY CREEK BOULEVARD ~ WEST WHITELAND TOWNSHIP
 CHESTER COUNTY ~ STATE OF PENNSYLVANIA



LOCATION MAP SCALE: 1" = 800'
 WEST WHITELAND TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA
 QUADRANGLE: MALVERN



ZONING MAP SCALE: 1" = 2,000'
 WEST WHITELAND TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA
 COURTESY: WEST WHITELAND TOWNSHIP



AERIAL MAP SCALE: 1" = 1,000'
 WEST WHITELAND TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA
 COURTESY: PENNSYLVANIA SPATIAL DATA ACCESS (PASDA)

SHEET INDEX	
S-1	COVER SHEET
S-2	SITE PLAN
S-3	EX. CONDITIONS, CONSERVATION & DEMOLITION PLAN
S-4	GRADING & UTILITIES PLAN
S-5	PCSM PLAN
S-6	PCSM PLAN
S-7	E&S CONTROL PLAN
S-8	E&S CONTROL PLAN
S-9	LANDSCAPE PLAN
S-10	PROFILES
S-11	PCSM DETAILS
S-12	PCSM DETAILS
S-13	E&S CONTROL DETAILS

NOTE: SEE PLANS FOR EAST WHITELAND TOWNSHIP FOR ADDITIONAL OFF-SITE DESIGN INFORMATION.

PERMITTING REQUIREMENTS		
PERMIT	ACTIVITY	AGENCY
1. NPDES	DISTURBANCE	CCCD & PA DEP
2. WEST WHITELAND TOWNSHIP FIRE MARSHALL	SITE APPROVAL	WEST WHITELAND TOWNSHIP

SWM AND E&S REPORT NOTE
 THESE PLANS HAVE BEEN PREPARED IN CONJUNCTION WITH THE "PCSM NARRATIVE AND REPORT" PREPARED BY JMR ENGINEERING, LLC DATED NOVEMBER 10, 2023, AS AMENDED.
 THESE PLANS HAVE BEEN PREPARED IN CONJUNCTION WITH THE "E&S NARRATIVE AND REPORT" PREPARED BY JMR ENGINEERING, LLC DATED JANUARY 31, 2024, AS AMENDED.

DESIGNER CERTIFICATION
 I, JOHN M. ROBINSON, P.E., HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE COMMONWEALTH OF PENNSYLVANIA AND THAT THESE PLANS ARE IN CONFORMITY WITH ENGINEERING, ZONING, SUBDIVISION, BUILDING, SANITARY AND OTHER APPLICABLE TOWNSHIP ORDINANCES AND REGULATIONS, EXCEPT AS NOTED.
 Signature: John M. Robinson DATE: 12/15/2025

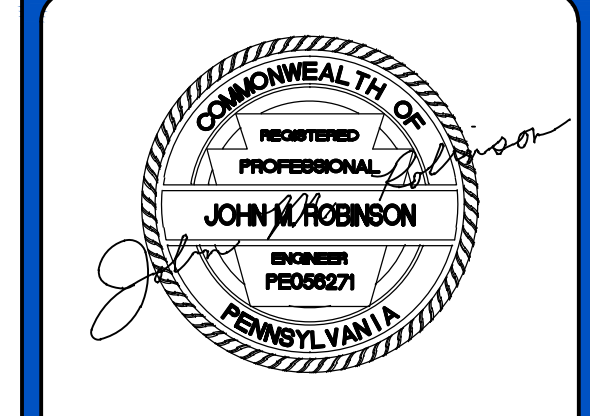
COMMONWEALTH OF PENNSYLVANIA COUNTY OF CHESTER
 ON THIS, THE ____ DAY OF _____, 20____, BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED _____, RESPONSIBLE OFFICIAL FROM SENTINEL GREEN FIG, LLC, WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT THEY ARE THE OWNERS OF THE PROPERTY SHOWN ON THIS PLAN, THAT THE PLAN THEREOF WAS MADE AT THEIR DIRECTION, THAT THEY ACKNOWLEDGE THE SAME TO BE RECORDED, AND THAT ALL STREETS AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC PROPERTY (EXCEPTING THOSE AREAS LABELED "NOT FOR DEDICATION") WILL BE OFFERED FOR DEDICATION.
 _____ (SENTINEL GREEN FIG, LLC OFFICIAL)
 SWORN TO AND SUBSCRIBED BEFORE ME
 THIS ____ DAY OF _____, 20____.
 _____ (NOTARY PUBLIC)

APPROVALS
BOARD OF SUPERVISORS
 APPROVED BY THE BOARD OF SUPERVISORS OF WEST WHITELAND TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA, THIS ____ DAY OF _____, 20____.

 APPROVED BY THE PLANNING COMMISSION OF WEST WHITELAND TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA, THIS ____ DAY OF _____, 20____.

CHESTER COUNTY PLANNING COMMISSION
 THIS PLAN WAS REVIEWED BY THE CHESTER COUNTY PLANNING COMMISSION ON THIS ____ DAY OF _____, 20____.
 _____ (CCPC FILE NUMBER)
 _____ (PLANNING COMMISSION SECRETARY)
CHESTER COUNTY RECORDER OF DEEDS
 RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF CHESTER COUNTY AT WEST CHESTER, PENNSYLVANIA, IN PLAN BOOK _____, PAGE _____, ON THIS ____ DAY OF _____, 20____.
 _____ (DEPUTY RECORDER OF DEEDS)

JMR ENGINEERING, LLC
 PROFESSIONAL CIVIL ENGINEERING • LAND PLANNING SERVICES
 106 SCHUBERT DRIVE ~ DOWNINGTOWN, PA 19335
 VOICE: (484) 880-7342
 EMAIL: ADMIN@JMRENGINEERING.COM
 WEBSITE: WWW.JMRENGINEERING.COM



JOHN M. ROBINSON
 PROFESSIONAL ENGINEER
 PENNSYLVANIA LICENSE NO. PE056271

UTILITY USERS LIST

USERS	RESPONSES
AQUA PENNSYLVANIA, INC.	
TEXAS EASTERN TRANSMISSION, LP	
AT&T LOCAL SERVICES	
TRANSCONTINENTAL GAS PIPELINE	
BUCKEYE PARTNERS	
VERIZON PENNSYLVANIA, INC.	
COMCAST CABLE	
WEST WHITELAND TOWNSHIP	
COMCAST CABLE COMMUNICATIONS, INC.	
WITEL COMMUNICATIONS, LLC	
EAST WHITELAND TOWNSHIP	
LEVEL3 COMMUNICATIONS	
PECO ENERGY	
FPL INTERSTATE ENERGY COMPANY	
SUNOCO, INC.	
SUNOCO PIPELINE, LP	

CALL BEFORE YOU DIG!
 PENNSYLVANIA LAW REQUIRES THE CONDUCTOR OF ANY UNDERGROUND UTILITY WORK AT LEAST 3 DAYS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, AND ENGINEERING, LLC DOES NOT GUARANTEE THE ACCURACY OF THE LOCATION OF UTILITIES. THESE DATA ARE FOR INFORMATIONAL PURPOSES ONLY. THE CONDUCTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
 1-800-242-1776
 POC'S SERIAL NUMBER: 20180261664 (WWT), 20180261665 (EW7)

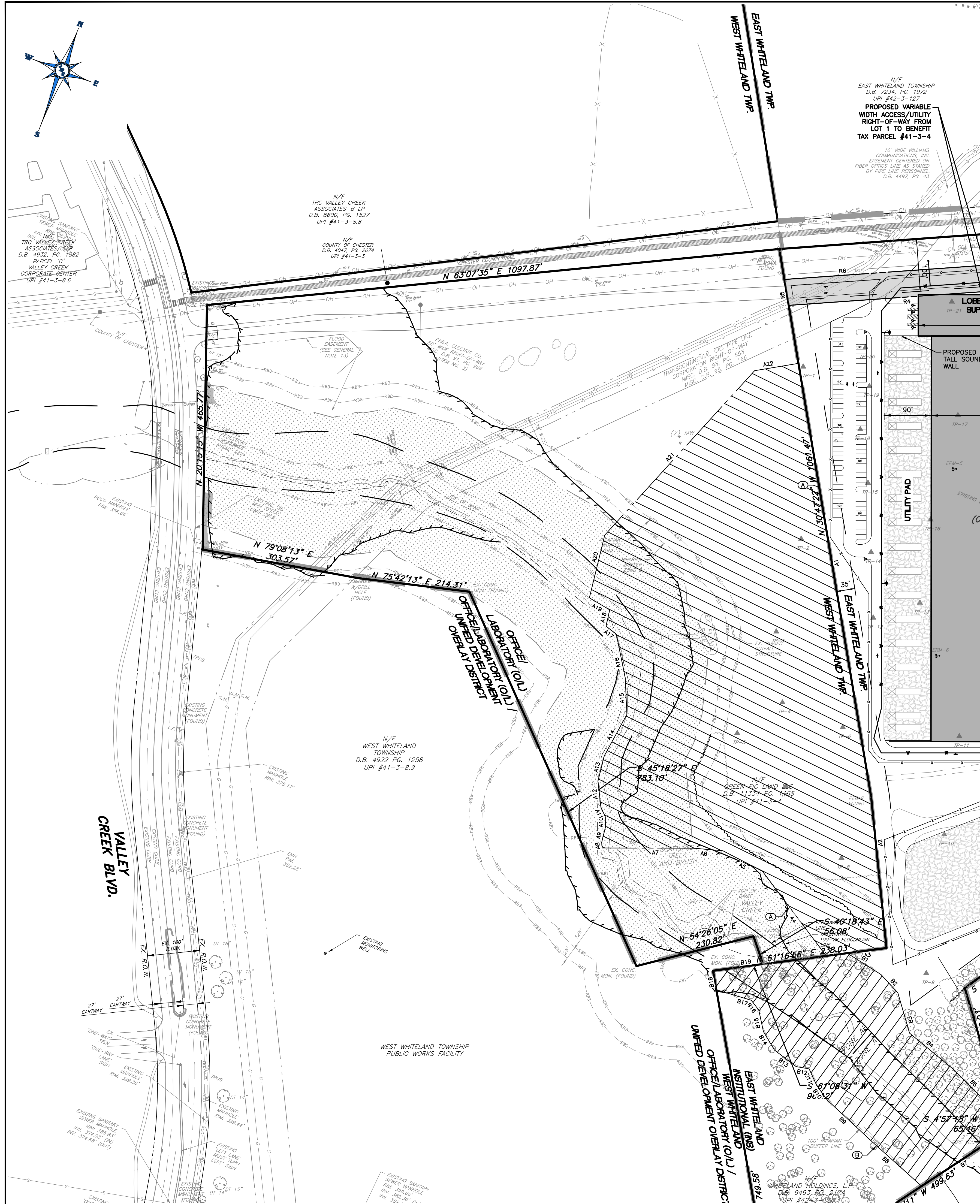
PLAN REVISIONS

REV#	DATE	DESCRIPTION OF CHANGES
1	03/19/24	REVISED PER WWT TOWNSHIP REVIEW COMMENTS
2	12/03/25	NO REVISION THIS SHEET
3	12/15/25	REVISED SITE LAYOUT

PROJECT:
PRELIMINARY/FINAL LAND DEVELOPMENT PLAN FOR DATA CENTERS
 LOCATION:
 215 VALLEY CREEK BLVD.
 EXTON, PA 19341
WEST WHITELAND TOWNSHIP CHESTER COUNTY, PA
 PARCELS:
TAX PARCEL NUMBER: 41-3-4
 CLIENT:
SENTINEL GREEN FIG, LLC
 505 5TH AVE, FLOOR 27
 NEW YORK, NY 10017

PROJECT No.: 1508-B
 SURVEY REF.: 1195-B (DSS)
 DRAWN BY: E.C.R.
 CHECKED BY: J.M.R.
 PLAN DATE: JANUARY 31, 2024
 PLAN SCALE: AS NOTED

SHEET TITLE:
COVER SHEET
 SHEET NUMBER:
1 OF 13

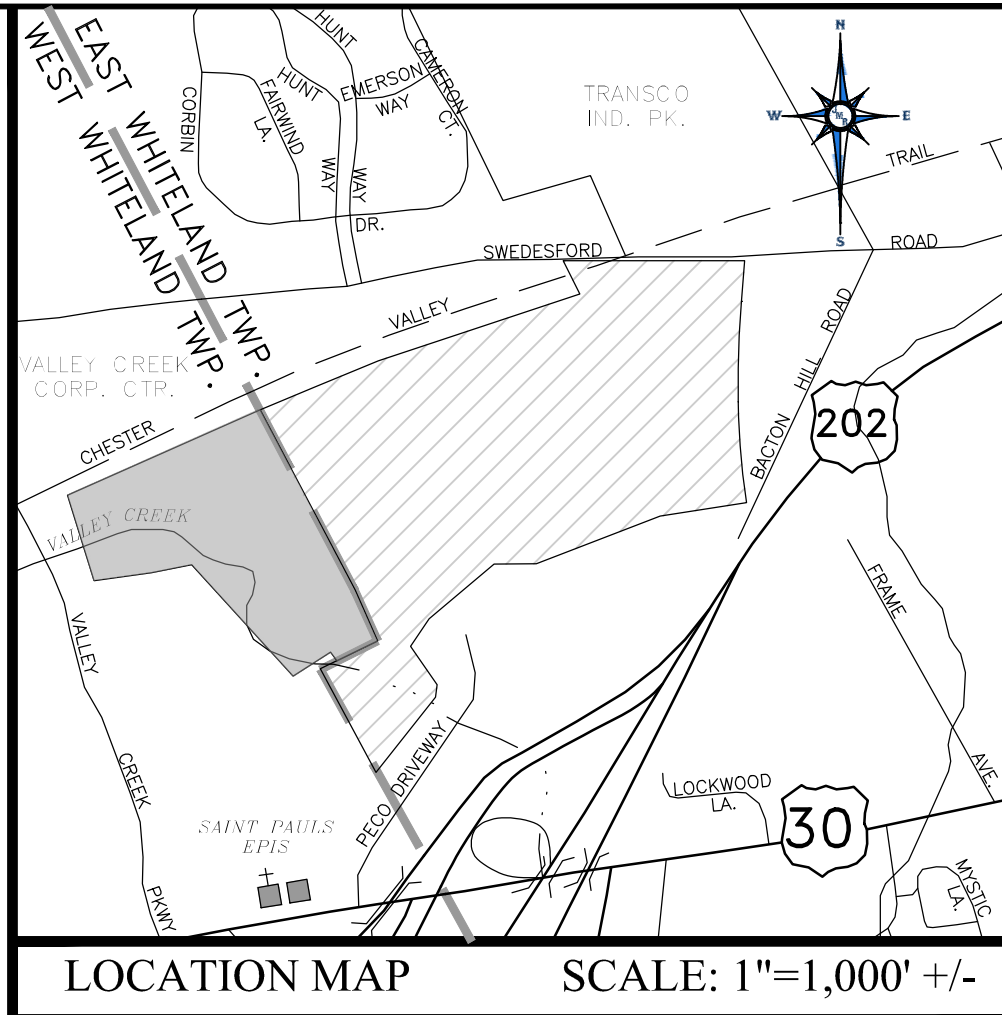


ACCESS & UTILITY EASEMENT TABLE

LINE	BEARING	LENGTH
A1	S 30°47'22" E	839.92'
A2	S 27°05'32" E	290.26'
A3	S 61°16'07" W	116.13'
A4	N 58°17'19" W	202.82'
A5	N 83°53'03" W	85.10'
A6	S 73°27'47" W	57.10'
A7	S 68°52'41" W	173.46'
A8	N 26°26'31" W	10.72'
A9	N 72°19'19" W	30.00'
A10	N 22°22'41" W	20.00'
A11	N 45°48'56" W	20.00'
A12	N 27°49'07" W	50.00'
A13	N 7°04'38" W	50.00'
A14	N 72°15'59" E	90.00'
A15	N 23°52'34" W	70.00'
A16	N 32°50'51" W	85.00'
A17	N 73°13'44" W	25.00'
A18	N 8°41'38" W	32.00'
A19	N 80°37'50" W	45.00'
A20	N 7°32'09" W	123.34'
A21	N 21°03'46" E	425.00'
A22	N 59°12'38" E	85.00'

LEGEND

EXISTING	PROPOSED
---	PROPERTY LINE
---	ADJACENT PROPERTY LINE
○	IRON PIN
□	CONCRETE MONUMENT
---	BUILDING SETBACK LINE
---	RIGHT-OF-WAY LINE
---	FLOODPLAIN LINE
---	FLOODWAY
---	RIPARIAN BUFFER ZONE 1
---	RIPARIAN BUFFER ZONE 2
---	RIPARIAN BUFFER ZONE 3
---	ASPHALT PAVEMENT
---	CURB
---	BUILDING
---	SIGN
○	CONCRETE
---	FENCELINE
---	TREE LINE
○	DEGROUVED TREE
○	CONIFEROUS TREE



GENERAL NOTES

- RECORD OWNER: GREEN FIG LAND COMPANY, C/O CHARLES LYDANE, 10 WOODFORD LANE, MALVERN, PA 19355. APPLICANT: SENTINEL GREEN FIG, LLC, C/O JOSHUA RABINA, 505 5TH AVE., FLOOR 27, NEW YORK, NY 10017.
- PARCEL DATA: 215 VALLEY CREEK BLVD, EXTON, PA 19341. PARCEL: 41-3-4. D.B. 11334, P.C. 1,165. TRACT AREA: 25.067 AC.
- BOUNDARY INFORMATION IS FROM A FIELD SURVEY PERFORMED BY DIENER SURVEYING SERVICES, LLC AND AMERICAN LAND TITLE ASSOCIATION (A.L.T.A.) PLAN BY DIENER SURVEYING SERVICES, LLC AND JMR ENGINEERING, LLC DATED MAY 18, 2018.
- EXISTING FEATURES AND TOPOGRAPHIC INFORMATION SHOWN ON SUBJECT PARCELS FROM PHYSICAL FIELD SURVEY PROVIDED BY DIENER SURVEYING SERVICES, MAY 2017.
- DATUM: HORIZONTAL: NAD 83, VERTICAL: NGVD 1929.
- BENCHMARK: 1.7 MILES SOUTHWEST OF FRAZER ALONG PENNSYLVANIA RAILROAD BRIDGE AT THE GLENLARK STATION AT NORTHERMOST RAILROAD BRIDGE OVER PHOENIXVILLE PIKE AT THE SOUTHWEST WING WALL. STANDARD DISK STAMPED K 106 1935, ELEVATION=431.93, DATUM: NGVD 1929.
- THE SUBJECT PARCEL LIES PARTIALLY WITHIN ZONE AE AS SCALED FROM THE NATIONAL FLOOD INSURANCE RATE MAP NO. 422920185G, WITH A MAP REVISION DATE OF SEPTEMBER 29, 2017. THE FLOODPLAIN LINE DEPICTED ON THIS PLAN HAS BEEN DELINEATED BASED UPON FIELD VERIFIED TOPOGRAPHIC SURVEY INFORMATION. THE DELINEATION HAS UTILIZED A CONVERSION FROM FIRM MAP ELEV. (NGVD 88) TO PROJECT DATUM ELEV. (NGVD 29) OF 1.017 FT.
- UNDERGROUND UTILITIES ARE SHOWN AS APPROXIMATE. NO GUARANTEE IS MADE THAT UNDERGROUND UTILITIES ARE ACCURATELY OR COMPLETELY SHOWN HEREON. THE SITE CONTRACTOR MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO BEGINNING CONSTRUCTION.
- THE DEVELOPER SHALL NOTIFY UNDERGROUND UTILITY USERS AT LEAST THREE DAYS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION IN ACCORDANCE WITH PA ACT 287 OF 1974, AS AMENDED BY ACT 199 OF 2004 & ALL OTHER APPLICABLE AMENDMENTS, AS WELL AS CONFORM TO APPLICABLE REGULATIONS OF SAID ACTS. UNDERGROUND UTILITIES SHOWN ARE FROM SURFACE EVIDENCE OBSERVABLE IN THE FIELD AND AS MARKED BY THE UTILITY COMPANIES.
- THE ENTIRE SITE IS UNDERLAIN WITH SOILS CLASSIFIED AS (C1B) CONESTOGA SILT LOAM, 3 TO 8 PERCENT SLOPES. SOILS CLASSIFICATIONS FROM THE UNITED STATES DEPARTMENT OF AGRICULTURE (USDA) NATURAL RESOURCE CONSERVATION DISTRICT WEB SOIL SURVEY, JULY 2017.
- THE EXISTING CONSERVATION EASEMENT SHOWN WITHIN THE RIPARIAN BUFFER OF VALLEY CREEK HAS BEEN TAKEN FROM THE PLAN ENTITLED "CONSERVATION EASEMENT PLAN FOR WHITELAND VILLAGE, L.P.," PREPARED BY EDWARD B. WALSH & ASSOCIATES, INC. DATED JANUARY 24, 2007.
- THE WETLANDS DELINEATION HAS BEEN PLOTTED FROM GROSSER/ERICH PLAN AND SUPPLEMENTED WITH FIELD REVIEW BY DELVAL SOIL CONSULTANTS, INC. DOYLESTOWN, PA.
- THE SITE IS LOCATED WITHIN THE VALLEY CREEK WATERSHED CWT (COLD WATER FISHERY) WATERSHED; TAKEN FROM DEP CODE TITLE 25, CHAPTER 93.
- THE FLOODPLAIN LINE DEPICTED ON THE PLAN HAS BEEN SHOWN BASED UPON THE PLAN PREPARED BY EDWARD B. WALSH & ASSOCIATES ENTITLED "FINAL LAND DEVELOPMENT PLAN FOR WHITELAND VILLAGE" DATED APRIL 9, 2009 AND REVISED MARCH 12, 2007.
- THE EXISTING TRANSCONTINENTAL PIPELINE IS SHOWN PER FIELD STAKING OF EXISTING PIPELINE AND RIGHT-OF-WAY BY TRANCO PIPELINE, AS FIELD SURVEYED BY DIENER SURVEYING SERVICES, LLC AND SHOWN ON A.L.T.A. PLAN NOTED IN GENERAL NOTE #3.
- NO DEBRIS SHALL BE BURIED ON THIS SITE. ALL DEBRIS SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE TOWNSHIP, COUNTY, STATE AND FEDERAL LAWS AND REQUIREMENTS.
- AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER AND/OR ANY OTHER PERMANENT, NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SUBSIDENCE AND OTHER SUBSURFACE MOVEMENTS.
- ALL PROPOSED STORMWATER MANAGEMENT FACILITIES ARE PERMANENT. MAINTENANCE OF PERMANENT STORMWATER MANAGEMENT FACILITIES WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- THE DEVELOPER SHALL CONFORM TO OR CAUSE CONFORMANCE WITH ALL APPLICABLE REQUIREMENTS OF THIS PLAN AND THE WEST WHITELAND TOWNSHIP ZONING ORDINANCE AND SUBDIVISION AND LAND DEVELOPMENT ORDINANCE, AS WELL AS OTHER APPLICABLE LOCAL, STATE AND FEDERAL LAWS, STATUTES, REGULATIONS AND ORDINANCES.
- ALL WORK WITHIN THE REGULATED FLOODPLAIN SHALL BE COMPLETED IN ACCORDANCE WITH ARTICLE XII TOWNSHIP WEST WHITELAND TOWNSHIP ZONING ORDINANCE, AS WELL AS STATE AND FEDERAL REGULATIONS.
- ALL STORAGE SHALL BE IN ACCORDANCE WITH §325-35 OF THE WEST WHITELAND TOWNSHIP ZONING ORDINANCE.
- THE ESTIMATED CONSTRUCTION TIMELINE FOR THIS PROJECT IS FOR WORK TO BEGIN IN SPRING 2025 AND BE COMPLETED BY SPRING 2027.
- PLAN PURPOSE: THE PURPOSE OF THIS PLAN IS TO PERMIT A STORMWATER MANAGEMENT WET POND FOR THE PROPOSED DEVELOPMENT ON THE ADJACENT EAST WHITELAND TOWNSHIP PARCEL. THE REFERENCED PLANS ARE IDENTIFIED AS THE PRELIMINARY/FINAL LAND DEVELOPMENT PLAN FOR DATA CENTERS, PROJECT #1508, BY JMR ENGINEERING, LLC, DATED NOVEMBER 10, 2023, AS AMENDED.
- REPRESENTATIVES OF WEST WHITELAND TOWNSHIP AND/OR OTHER GOVERNMENTAL AUTHORITIES SHALL HAVE PERMISSION TO GAIN ACCESS TO THE STORMWATER FACILITIES THROUGH A BLANKET EASEMENT OVER THE PROPERTY TO PERFORM INSPECTIONS, MAINTENANCE AND REPAIRS OF ALL STORMWATER FACILITIES, AS NECESSARY. WEST WHITELAND TOWNSHIP HAS THE RIGHT, BUT NOT THE DUTY, TO ENTER THE PROPERTY TO MAINTAIN THE FACILITIES AND ANY REASONABLE COSTS INCURRED AS PART OF THE MAINTENANCE, AND/OR REPAIRS SHALL BE THE RESPONSIBILITY OF THE LANDOWNER.
 - THE NORTHERN PROPERTY LINE BUFFER IS WITHIN AN EXISTING PECO RIGHT-OF-WAY AND 31 RED MAPLES WERE PREVIOUSLY INSTALLED BETWEEN THE PECO RIGHT-OF-WAY AND THE PROPOSED DRIVEWAY.
 - THE SOUTHWESTERN PROPERTY LINE BUFFER INCLUDES EXISTING VEGETATION THAT WILL REMAIN UNDISTURBED.
 - THE STORMWATER BASINS AND BMPs ARE LANDSCAPED WITH NATIVE MEADOW SEED MIX AND NATIVE SHRUBS PER THE PENNSYLVANIA STORMWATER BEST MANAGEMENT PRACTICES MANUAL, SECTION 6.4.5.
 - THE APPLICANT REQUESTS RELIEF FROM A PORTION OF THE SETBACK AND LANDSCAPE REQUIREMENTS OF THE NOTED SECTION ALONG THE EASTERN PROPERTY LINE WITH EAST WHITELAND TOWNSHIP DUE TO THE ADJACENT INSTITUTIONAL ZONING DISTRICT.

ZONING INFORMATION

WEST WHITELAND TOWNSHIP §325-15 OFFICE LABORATORY DISTRICT (O/L)

IN ACCORDANCE WITH §325-15.B.5, USES ALLOWED BY ARTICLE X, INSTITUTIONAL DISTRICT, SUBJECT TO COMPLIANCE WITH THE PROVISIONS OF THIS ARTICLE, THE PROPOSED BULK AND AREA REGULATIONS ARE IN ACCORDANCE WITH DEVELOPMENT REGULATIONS LISTED UNDER §325-45.C FOR THE PROPOSED USE OF MUNICIPAL BUILDINGS, OFFICES, GARAGES, AND OTHER MUNICIPAL USES ALLOWED BY §325-45.B.6.

AREA AND BULK REGULATIONS	REQUIRED	PROPOSED
LOT AREA	4.00 AC	25.07 AC
MINIMUM LOT WIDTH AT BUILDING LINE	100 FEET	±37.5 FT.
MAXIMUM IMPERVIOUS COVERAGE	50% TOTAL LOT AREA ⁽¹⁾	0%
MAXIMUM HEIGHT	35 FEET	N/A
PUBLIC SEWER AND WATER	REQUIRED	NO DEVELOPMENT PROPOSED
MINIMUM BUILDING SETBACK FROM R.O.W.	50 FEET	N/A
MINIMUM SETBACK FROM PROPERTY LINE	50 FEET	N/A
FROM INTERIOR DRIVES OR PARKING LOTS EXCEPT IN AREAS REQUIRED FOR LOADING OR PASSENGER DROP OFF	15 FEET	N/A
FROM ADJACENT BUILDINGS	SEE NOTE ⁽²⁾	N/A
MINIMUM PARKING SETBACK	25 FEET	N/A

⁽¹⁾ THE REMAINING LOT AREA SHALL BE USED FOR AND MAINTAINED AS LANDSCAPED OPEN SPACE, A RECREATIONAL AREA, WOODLANDS, OR SIMILAR NONINTENSIVE USE.

⁽²⁾ DISTANCE EQUAL TO HEIGHT OF TALLER BUILDING

CONDITIONAL USE

§325-70(a)(2)(b) THE BOARD OF SUPERVISORS MAY PERMIT BY CONDITIONAL USE THE EXEMPTION OF MAN-MADE STEEP SLOPES (E.G., MAN-MADE SLOPES WITHIN A STREET OR RAILROAD RIGHT-OF-WAY) EQUAL TO OR GREATER THAN 1,000 SQUARE FEET IN AREA WHEN IT DETERMINES THAT CONSTRUCTION, DEVELOPMENT OR IMPROVEMENT WITHIN THE MAN-MADE SLOPE WILL NOT BE INCONSISTENT WITH THE PURPOSE OF §325-68 ABOVE AND THE STANDARDS AND CRITERIA IN §325-72B FOLLOWING AND WITHOUT ENVIRONMENTAL DEGRADATION, THE DETERMINATION OF WHAT CONSTITUTES MAN-MADE SLOPES SHALL BE MADE BY THE ZONING OFFICER.

THE PREVIOUS APPLICANT (WEST WHITELAND TOWNSHIP) WAS GRANTED CONDITIONAL USE APPROVAL TO DISTURB MAN-MADE PRECAUTIONARY SLOPES. THE SLOPES WERE CONSTRUCTED DURING A PREVIOUS PROJECT THAT INSTALLED A LARGE STORMWATER MANAGEMENT POND. THIS POND WAS LATER FILLED IN AS A PART OF A SEPARATE PROJECT, LEAVING THE DOWNSTREAM RETENTION BERM SLOPES IN PLACE.

WAIVER REQUESTS

- §270-15(T)(2)(b) THE APPLICANT IS PROPOSING APPROXIMATELY 820 S.F. OF GRADING AND DISTURBANCE WITHIN RIPARIAN BUFFER ZONE 2 TO CONSTRUCT THE PROPOSED DEVELOPMENT. THERE IS NO PROPOSED IMPERVIOUS LOCATED WITHIN ZONE 2 AND 3.
- §270-20 THE APPLICANT IS REQUESTING RELIEF FROM THE INFILTRATION REQUIREMENTS OF THE NOTED SECTION DUE TO KNOWN SINKHOLE ACTIVITY ONSITE. IN LIEU OF INFILTRATION, THE APPLICANT IS PROPOSING TO EMPLOY THE MANAGED RELEASE STORMWATER MANAGEMENT CONCEPT TO MEET RECHARGE VOLUME REQUIREMENTS.
- §270-21(D) THE APPLICANT IS PROPOSING TO UTILIZE THE MANAGED RELEASE CONCEPT RAIN GARDENS TO PROVIDE 2-YR VOLUME CREDITS FOR THE PROJECT. THE MANAGED RELEASE CONCEPT, AS SPECIFIED BY PA DEP, MAY HAVE REDUCED ORIFICE SIZES. THE APPLICANT IS PROPOSING A REDUCED ORIFICE TO REMAIN IN COMPLIANCE WITH THE DESIGN STANDARDS OF THE MANAGED RELEASE CONCEPT.
- §281-16(C)(11)(a) THE APPLICANT IS REQUESTING RELIEF FROM THE REQUIREMENT TO LOCATE AND IDENTIFY ALL INDIVIDUAL MATURE TREES OF SIX-INCH AND GREATER DBH WITHIN 50 FEET OF AREAS TO BE DISTURBED, BY SPECIES AND SIZE AS A SITE FIELD SURVEY OF THE PROPERTY HAS NOT BEEN COMPLETED IN 5 YEARS.
- §281-34.G THE PROPERTY WAS PREVIOUSLY PERMITTED THROUGH THE LAND DEVELOPMENT PROCESS TO FILL IN THE STORMWATER BASIN THAT WAS CONSTRUCTED IN THE EARLY 2000'S. AT THAT TIME, A TOTAL OF 98 TREES AND 56 SHRUBS WERE INSTALLED ON THE PROPERTY. MOST OF THE BASIN CONSTRUCTION IS LOCATED IN NONE WOODED AREAS AND ANY TREE REMOVAL WOULD BE MINIMAL.
- §281-35.A & E A 25' PERIMETER BUFFER SETBACK IS PROVIDED ALONG ADJOINING PROPERTY LINES TO THE NORTH, WEST (PERIMETER BUFFER) TO THE NORTH, WEST, SOUTH, AND A SECTION OF THE EASTERN PROPERTY LINE. RELIEF FROM PROVIDING LANDSCAPING IS REQUESTED BASED ON THE BELOW SITE CONDITIONS:
 - THE NORTHERN PROPERTY LINE BUFFER IS WITHIN AN EXISTING PECO RIGHT-OF-WAY AND 31 RED MAPLES WERE PREVIOUSLY INSTALLED BETWEEN THE PECO RIGHT-OF-WAY AND THE PROPOSED DRIVEWAY.
 - THE SOUTHWESTERN PROPERTY LINE BUFFER INCLUDES EXISTING VEGETATION THAT WILL REMAIN UNDISTURBED.
 - THE STORMWATER BASINS AND BMPs ARE LANDSCAPED WITH NATIVE MEADOW SEED MIX AND NATIVE SHRUBS PER THE PENNSYLVANIA STORMWATER BEST MANAGEMENT PRACTICES MANUAL, SECTION 6.4.5.
 - THE APPLICANT REQUESTS RELIEF FROM A PORTION OF THE SETBACK AND LANDSCAPE REQUIREMENTS OF THE NOTED SECTION ALONG THE EASTERN PROPERTY LINE WITH EAST WHITELAND TOWNSHIP DUE TO THE ADJACENT INSTITUTIONAL ZONING DISTRICT.

JMR ENGINEERING, LLC

PROFESSIONAL CIVIL ENGINEERING • LAND PLANNING SERVICES

108 SCHUBERT DRIVE • DOWNTOWN, PA 19335

PHONE: (484) 880-7342

EMAIL: ADMIN@JMRENGINEERING.COM

WEBSITE: WWW.JMRENGINEERING.COM

JOHN M. ROBINSON

PROFESSIONAL ENGINEER

PENNSYLVANIA LICENSE NO. PE056271

UTILITY USERS LIST

USERS	RESPONSES
AQUA PENNSYLVANIA, INC.	
TRACOS EASTERN TRANSMISSION, LP	
AT&T LOCAL SERVICES	
TRANSNORTHSTAR GAS PIPELINE	
BUCKEYE PARTNERS	
VERISON PENNSYLVANIA, INC.	
COMCAST CABLE	
WEST WHITELAND TOWNSHIP	
COMCAST CABLE COMMUNICATIONS, INC.	
WILET COMMUNICATIONS, LLC	
EAST WHITELAND TOWNSHIP	
FPL ENERGY	
FPL INTERSTATE ENERGY COMPANY	
SUNOCO, INC.	
SUNOCO PIPELINE, LP	

CALL BEFORE YOU DIG!

PROVIDING 24 HOURS OF SERVICE TO ASSIST WITH UNDERGROUND UTILITY LOCATIONS. WE OFFER A 24 HOUR SERVICE LINE FOR EMERGENCY CALLS. WE ARE AVAILABLE 24 HOURS A DAY, 7 DAYS A WEEK. CALL US AT 1-800-242-1776. WE WILL ASSIST YOU IN LOCATING YOUR UTILITY LINES. WE WILL ALSO ASSIST YOU IN OBTAINING THE NECESSARY PERMITS FOR YOUR PROJECT. WE WILL ASSIST YOU IN OBTAINING THE NECESSARY PERMITS FOR YOUR PROJECT. WE WILL ASSIST YOU IN OBTAINING THE NECESSARY PERMITS FOR YOUR PROJECT.

1-800-242-1776

POCS SERIAL NUMBER: 20180261664 (WWT), 20180261665 (CWT)

PLAN REVISIONS

REV	DATE	DESCRIPTION OF CHANGES
1	03/19/24	REVISED PER WWT TOWNSHIP REVIEW COMMENTS
2	12/03/25	NO REVISION THIS SHEET
3	12/15/25	REVISED SITE LAYOUT

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN FOR DATA CENTERS

LOCATION: 215 VALLEY CREEK BLVD, EXTON, PA 19341

WEST WHITELAND TOWNSHIP CHESTER COUNTY, PA

PARCELS: TAX PARCEL NUMBER: 41-3-4

CLIENT: SENTINEL GREEN FIG, LLC, 505 5TH AVE, FLOOR 27, NEW YORK, NY 10017

PROJECT No.: 1508-B

SURVEY REF.: 1195-B (DSS)

DRAWN BY: E.C.R.

CHECKED BY: J.M.R.

PLAN DATE: JANUARY 31, 2024

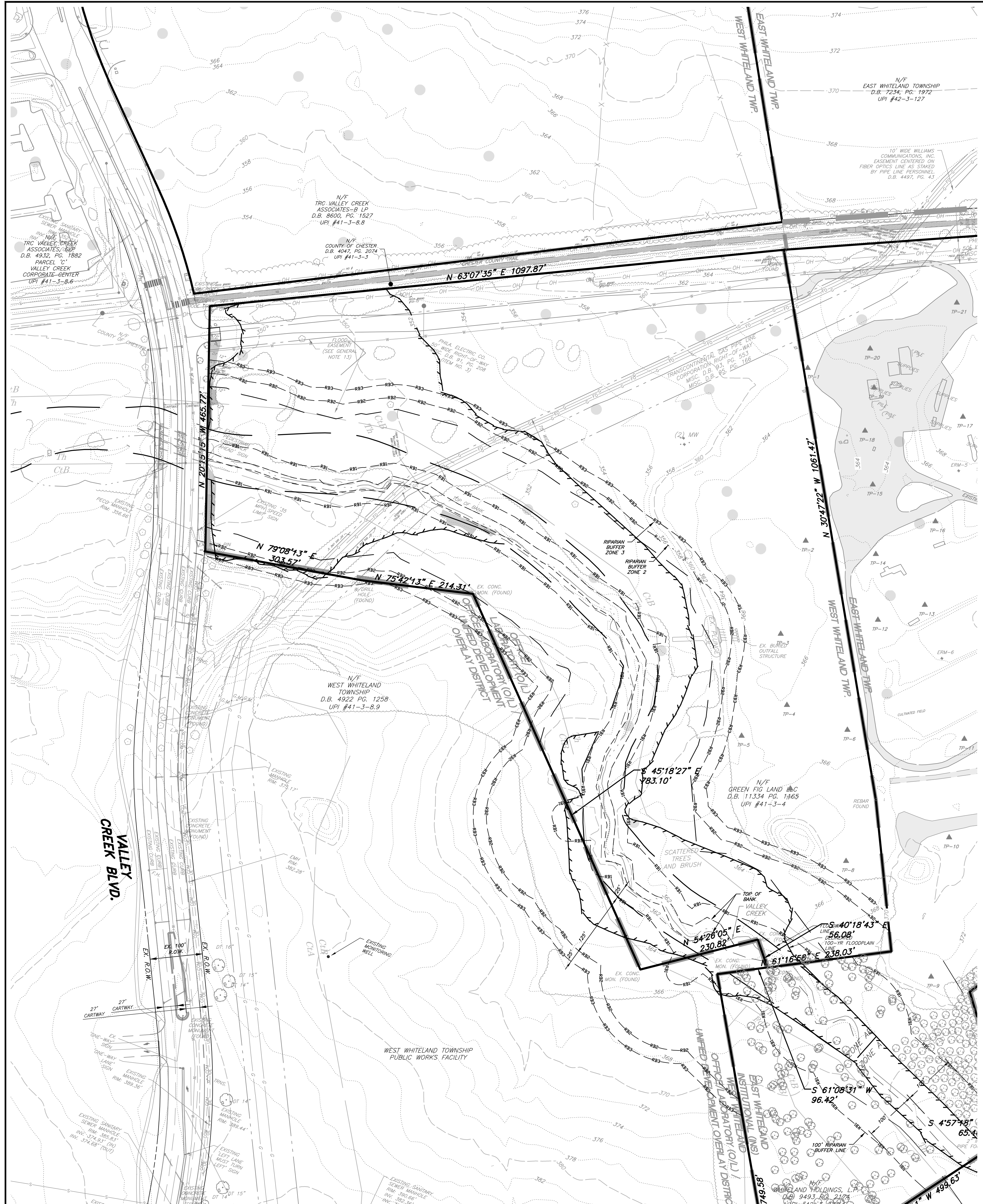
PLAN SCALE: 1" = 100'

SHEET TITLE: **SITE PLAN**

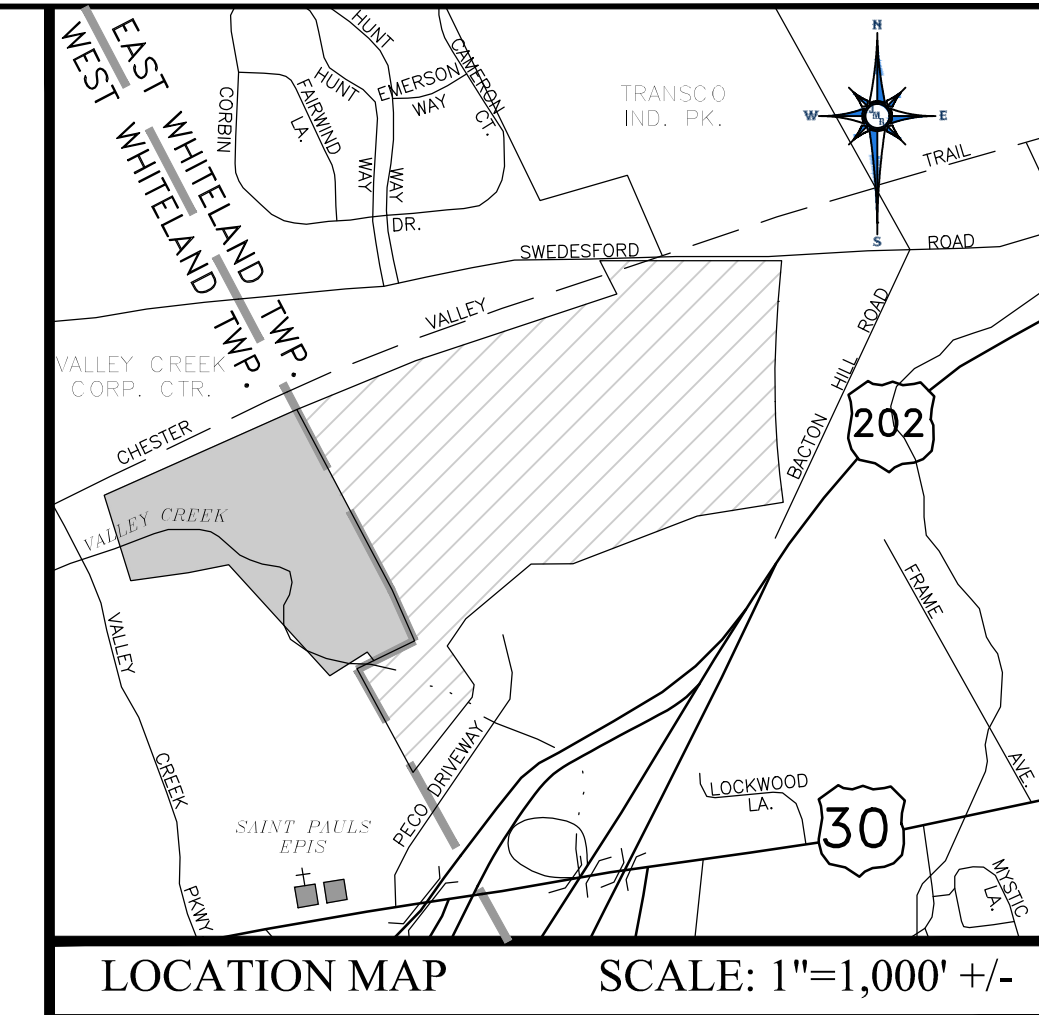
SHEET NUMBER: 2 OF 13

Plot Date: Mon, Dec. 15, 2025

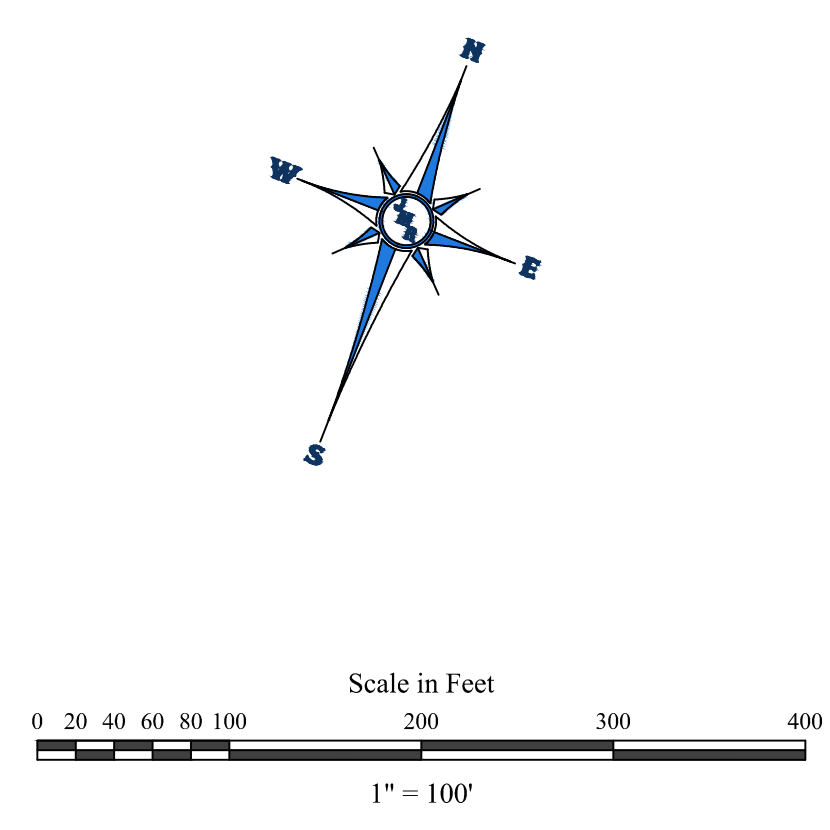
Fig. 2 SITE.DWG



SUMMARY OF INFILTRATION TESTING							
TP	GR. EL.	TEST DEPTH (IN)	TEST EL.	RATE (IN/HR)	LIMITING ZONE DEPTH (IN)	LIMITING ZONE (ELEV.)	NOTES
1	363.1	57	358.4	0.00	N/A	N/A	N/A
2	365.2	56	360.5	0.00	N/A	N/A	N/A
3	366.9	78	360.4	N/A	160	353.6	Groundwater From Seepage Above
4	365.4	84	358.4	N/A	144	353.4	Groundwater From Seepage Above
5	363.2	66	357.7	0.50	N/A	N/A	
6	364.8	64	359.5	0.00	N/A	N/A	
7	365.4	96	357.4	6.00	N/A	N/A	
8	366.9	55	362.3	0.00	N/A	N/A	
9	372.7	36	369.7	0.00	N/A	N/A	
10	367.9	54	363.4	0.00	N/A	N/A	
11	367.1	58	362.3	1.00	N/A	N/A	
12	365.4	96	357.4	0.50	N/A	N/A	
13	369.0	68	363.3	0.50	N/A	N/A	
14	363.5	72	357.5	0.00	N/A	N/A	
15	363.8	71	357.8	0.00	N/A	N/A	
16	364.0	64	358.7	0.00	N/A	N/A	
17	368.1	63	362.9	0.00	N/A	N/A	
18	363.5	68	357.8	0.25	N/A	N/A	
19	363.8	72	357.8	0.25	N/A	N/A	
20	364.5	29	362.1	0.50	N/A	N/A	
21	366.3	60	361.3	0.25	N/A	N/A	
22	366.0	56	361.3	0.00	N/A	N/A	
23	366.2	62	361.0	0.50	N/A	N/A	
24	372.9	52	368.6	0.00	72	366.9	Rock
25	369.3	55	364.7	0.25	N/A	N/A	
26	369.1	54	364.6	0.25	N/A	N/A	
27	367.9	56	363.2	0.50	N/A	N/A	
28	374.3	24	372.3	0.00	N/A	N/A	
29	374.5	24	372.5	3.00	68	368.8	Rock
30	372.4	36	369.4	0.50	70	366.6	Rock
31	374.0	54	369.5	0.25	N/A	N/A	
32	385.1	54	380.6	2.00	N/A	N/A	
33	373.0	42	369.5	1.50	N/A	N/A	
34	373.4	64	368.1	0.50	N/A	N/A	
35	367.3	57	362.6	2.50	N/A	N/A	
36	369.0	42	365.5	0.50	N/A	N/A	
37	373.4	52	369.1	0.25	N/A	N/A	
38	374.7	71	368.8	1.25	N/A	N/A	
39	376.5	84	369.5	0.50	N/A	N/A	
40	376.4	84	369.4	2.25	N/A	N/A	Perched Water in Fill @ 88"
41	373.0	55	368.4	0.00	N/A	N/A	
42	373.1	52	368.8	0.00	60	368.1	Groundwater
43	373.4	67	367.8	0.00	126	362.9	Rock
44	378.5	25	376.4	0.50	N/A	N/A	
45	372.5	69	366.8	0.13	N/A	N/A	
46	372.0	84	365.0	0.25	N/A	N/A	
47	376.1	84	369.1	0.38	N/A	N/A	
48	379.0	54	374.5	0.25	N/A	N/A	
49	376.1	54	371.6	18.00	120	366.1	Rock
50	382.9	60	377.9	0.00	N/A	N/A	
51	383.4	48	379.4	2.00	66	377.9	Groundwater
52	381.7	59	376.8	0.00	N/A	N/A	
53	375.7	66	370.2	0.13	N/A	N/A	
54	374.6	60	369.6	0.25	N/A	N/A	
55	379.6	44	375.9	0.13	N/A	N/A	
56	384.8	84	377.8	0.25	N/A	N/A	
57	379.0	68	373.3	0.00	N/A	N/A	
58	384.9	52	380.6	0.00	114	375.4	Rock
59A	385.1	61	380.0	0.00	100	376.8	Rock
60	384.7	62	379.5	1.00	48	380.7	Groundwater
61	385.2	76	378.9	1.00	48	381.2	Groundwater
62	387.0	76	380.7	0.13	N/A	N/A	
63	385.4	85	378.3	0.13	N/A	N/A	
64	383.3	71	377.4	0.13	N/A	N/A	
65	384.7	32	382.0	0.25	N/A	N/A	
66	390.0	66	384.5	0.25	N/A	N/A	
67	392.1	32	389.4	0.50	N/A	N/A	



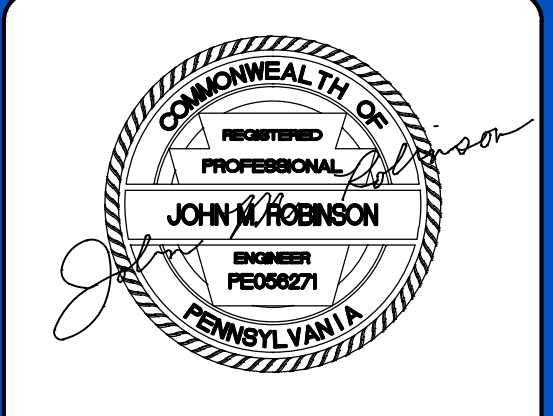
LEGEND	
EXISTING	
---	PROPERTY LINE
---	ADJACENT PROPERTY LINE
○	IRON PIN
□	CONCRETE MONUMENT
---	BUILDING SETBACK LINE
---	RIGHT-OF-WAY LINE
---	FLOODPLAIN LINE
---	FLOODWAY
---	RIPARIAN BUFFER ZONE 1
---	RIPARIAN BUFFER ZONE 2
---	RIPARIAN BUFFER ZONE 3
---	ASPHALT PAVEMENT
---	CURB
---	BUILDING
---	SIGN
---	SANITARY SEWER LINE
---	SANITARY SEWER MANHOLE
---	WATER LINE
---	FIRE HYDRANT
---	WATER VALVE
---	WATER METER
---	GAS VALVE
---	GAS LINE
---	OVERHEAD ELECTRIC LINE
---	UNDERGROUND ELECTRIC LINE
---	UTILITY POLE
---	FENCELINE
---	CONTOUR LINE
---	TREE LINE
---	DECIDUOUS TREE
---	CONIFEROUS TREE
---	SLOPES (15%-25%)
---	SLOPES (>25%)



NRCS SOILS IDENTIFICATION TABLE			
SYMBOL DESCRIPTION:	HYDROLOGIC GROUP	LAND CAPABILITY	SEASONAL HIGH WATER DEPTH BEDROCK
CHB CONESTOGA SILT LOAM, 3 TO 8 PERCENT SLOPES	B	2E	>80 INCHES 60"-99"

NOTE: THE ENTIRE SITE IS UNDERLAIN WITH THE ABOVE SOIL TYPE.

JMR ENGINEERING, LLC
 PROFESSIONAL CIVIL ENGINEERING • LAND PLANNING SERVICES
 108 SCHUBERT DRIVE ~ DOWNTOWN, PA 19335
 VOICE: (484) 880-7342
 EMAIL: ADMIN@JMRENGINEERING.COM
 WEBSITE: WWW.JMRENGINEERING.COM



JOHN M. ROBINSON
 PROFESSIONAL ENGINEER
 PENNSYLVANIA LICENSE NO. PE056271

UTILITY USERS LIST

USERS	RESPONSES
AQUA PENNSYLVANIA, INC.	
TEKAS EASTERN TRANSMISSION, LP	
AT&T LOCAL SERVICES	
TRANSCONTINENTAL GAS PIPELINE	
BUCKEYE PARTNERS	
VERISON PENNSYLVANIA, INC.	
COMCAST CABLE	
WEST WHITELAND TOWNSHIP	
COMCAST CABLE COMMUNICATIONS, INC.	
WILEY COMMUNICATIONS, LLC	
EAST WHITELAND TOWNSHIP	
LEVELS COMMUNICATIONS	
PECO ENERGY	
FPL INTERSTATE ENERGY COMPANY	
SUNOCO, INC.	
SUNOCO PIPELINE, LP	

CALL BEFORE YOU DIG!
 PENNSYLVANIA LAW REQUIRES THE OPERATOR OF ANY UNDERGROUND UTILITY SYSTEM TO NOTIFY THE OPERATOR OF ANY UNDERGROUND UTILITY SYSTEM AT LEAST 3 DAYS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE OPERATOR OF ANY UNDERGROUND UTILITY SYSTEM SHALL NOT GUARANTEE THE ACCURACY OF THE LOCATION OR DEPTH OF ANY UNDERGROUND UTILITY SYSTEM. THE OPERATOR SHALL VERIFY THE LOCATION OF ALL UTILITY SYSTEMS PRIOR TO CONSTRUCTION. CALL 1-800-242-1776 FOR MORE INFORMATION.
 1-800-242-1776
 PCCS SERIAL NUMBER:
 20180261664 (WWT),
 20180261665 (CWT)

PLAN REVISIONS

REV. DATE	DESCRIPTION OF CHANGES
1	03/19/24 REVISION PER WWT TOWNSHIP REVIEW COMMENTS
2	12/03/25 NO REVISION THIS SHEET
3	12/15/25 REVISED SITE LAYOUT

PROJECT: PRELIMINARY/FINAL LAND DEVELOPMENT PLAN FOR DATA CENTERS

LOCATION:
 215 VALLEY CREEK BLVD.
 EXTON, PA 19341
 WEST WHITELAND TOWNSHIP
 CHESTER COUNTY, PA

PARCELS:
TAX PARCEL NUMBER:
 41-3-4

CLIENT:
SENTINEL GREEN FIG, LLC
 505 5TH AVE, FLOOR 27
 NEW YORK, NY 10017

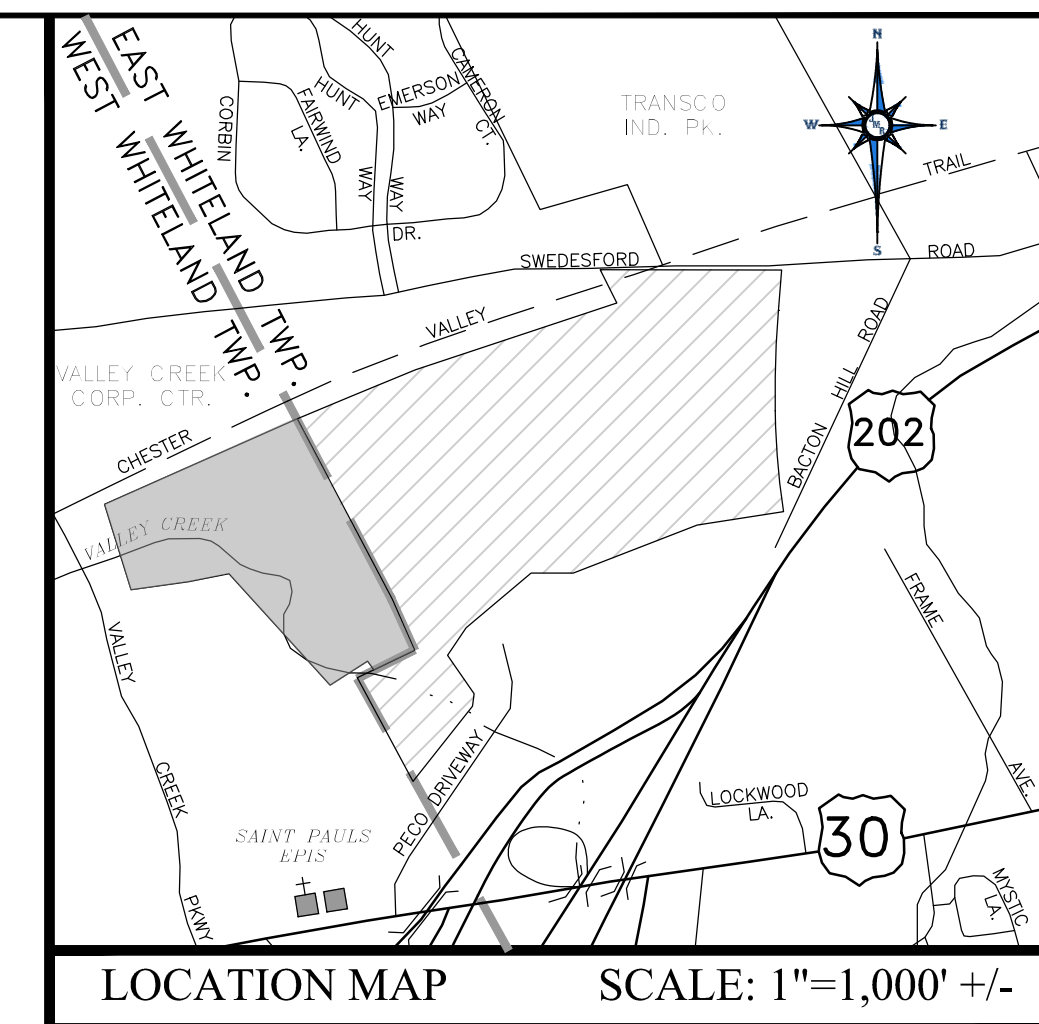
PROJECT No.:	1508-B
SURVEY REF.:	1195-B (DSS)
DRAWN BY:	E.C.R.
CHECKED BY:	J.M.R.
PLAN DATE:	JANUARY 31, 2024
PLAN SCALE:	1" = 100'

SHEET TITLE: EX. CONDITIONS, CONSERVATION & DEMOLITION PLAN

SHEET NUMBER:
3 OF 13
 Plot Date: Mon. Dec. 15, 2025
 File: 3.XCOND.DWG



SUMMARY OF INFILTRATION TESTING							
TP	GR. EL.	TEST DEPTH (IN)	TEST EL.	RATE (IN/HR)	LIMITING ZONE DEPTH (IN)	LIMITING ZONE (ELEV.)	NOTES
1	363.1	57	358.4	0.00	N/A	N/A	N/A
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66	390.0	66	384.5	0.25	N/A	N/A	
67	392.1	32	389.4	0.50	N/A	N/A	



LEGEND		EXISTING	PROPOSED
---	PROPERTY LINE	---	N/A
---	ADJACENT PROPERTY LINE	---	N/A
○	IRON PIN	○	N/A
□	CONCRETE MONUMENT	□	N/A
---	BUILDING SETBACK LINE	---	N/A
---	RIGHT-OF-WAY LINE	---	N/A
---	FLOODPLAIN LINE	---	N/A
---	FLOODWAY	---	N/A
---	RIPARIAN BUFFER ZONE 1	---	N/A
---	RIPARIAN BUFFER ZONE 2	---	N/A
---	RIPARIAN BUFFER ZONE 3	---	N/A
---	ASPHALT PAVEMENT	---	N/A
---	CURB	---	N/A
---	BUILDING	---	N/A
S	SANITARY SEWER LINE	S	N/A
⊙	SANITARY SEWER MANHOLE	⊙	N/A
W	WATER LINE	W	N/A
⊕	FIRE HYDRANT	⊕	N/A
W.V.	WATER VALVE	W.V.	N/A
W.M.	WATER METER	W.M.	N/A
GAS	GAS LINE	GAS	N/A
G.V.	GAS VALVE	G.V.	N/A
⊖	OVERHEAD ELECTRIC LINE	⊖	N/A
⊖	UNDERGROUND ELECTRIC LINE	⊖	N/A
U	UTILITY POLE	U	N/A
X	FENCELINE	X	N/A
500	CONTOUR LINE	500	N/A
N/A	LIMITS OF DISTURBANCE	N/A	N/A
○	TREE LINE	○	N/A
○	DECIDUOUS TREE	○	N/A
○	CONIFEROUS TREE	○	N/A
○	SLOPES (15%-25%)	○	N/A
○	SLOPES (>25%)	○	N/A

SOIL USE LIMITATIONS AND RESOLUTIONS:

ACID SOIL TYPES: pH LOWER THAN 5.5
 THE ABOVE CHART LISTS THE TYPICAL SOIL pH. SOIL TESTS SHOULD BE TAKEN TO DETERMINE THE ACTUAL SOIL pH REACTION. A pH OF 5.5 SHOULD BE ACHIEVED. TO RESOLVE THIS LIMITATION THE SOIL pH SHOULD BE ADJUSTED BY APPLYING LIME RATES IN ACCORDANCE WITH THE PENN STATE AGRICULTURE GUIDE AND THE RECOMMENDATIONS FROM A REPUTABLE LABORATORY.

WET SOIL TYPES
 TO RESOLVE THIS LIMITATION VEGETATIVE SPECIES THAT ARE TOLERANT TO WET CONDITIONS SHOULD BE SELECTED FOR LANDSCAPING.

POOR TOPSOIL
 SOIL SHOULD BE IMPORTED FROM OTHER AREAS ON SITE. THE CHESTER COUNTY CONSERVATION DISTRICT MUST APPROVE ANY DEVIATION FROM THE E&S CONSTRUCTION SEQUENCE.

SOLUTION CHAMBERS/SINKHOLES
 IF SOLUTION CHAMBERS OR SINKHOLES APPEAR DURING CONSTRUCTION ACTIVITIES, A GEOLOGIST SHOULD BE CONTACTED FOR RECOMMENDATIONS.

WET SOIL TYPES/HIGH WATER TABLE DURING EXCAVATION ACTIVITIES
 WATER TO BE PUMPED TO A Dewatering STRUCTURE.

POOR SUITABILITY FOR WINTER GRADING/EROSION ACTION
 ADEQUATE COMPACTION OF SOIL IS REQUIRED FOR THE EMBANKMENTS, PIPE BACKFILL, ROAD CONSTRUCTION AND THE BUILDING PAD. IF ADEQUATE COMPACTION CANNOT BE ACHIEVED DUE TO FROST ACTION OR WET SOIL TYPE, EITHER SOIL SHOULD BE IMPORTED FROM OTHER AREAS ON SITE OR CONSTRUCTION OF THESE FACILITIES SHOULD NOT BE WORKED ON DURING PERIODS PRONE TO FROST. THE CHESTER COUNTY CONSERVATION DISTRICT, (810) 925-4920 MUST APPROVE ANY DEVIATION FROM THE E&S CONSTRUCTION SEQUENCE.

PERMEABLE SOIL FOR EMBANKMENT CONSTRUCTION
 SOIL SHOULD BE IMPORTED FROM OTHER AREAS ON SITE. THE CHESTER COUNTY CONSERVATION DISTRICT, MUST APPROVE ANY DEVIATION FROM THE E&S CONSTRUCTION SEQUENCE.

STORMWATER SYSTEM MODIFICATION:

I HEREBY ACKNOWLEDGE THAT ANY REVISION TO THE APPROVED STORMWATER SITE PLAN SHALL BE SUBMITTED TO AND APPROVED BY THE WEST WHITELAND TOWNSHIP, AND THAT A REVISED EROSION AND SEDIMENT CONTROL PLAN SHALL BE SUBMITTED TO, AND APPROVED BY THE CONSERVATION DISTRICT OR WEST WHITELAND TOWNSHIP (AS APPLICABLE) FOR A DETERMINATION OF ADEQUACY PRIOR TO CONSTRUCTION OF THE REVISED FEATURES.

APPLICANT _____ DATE _____

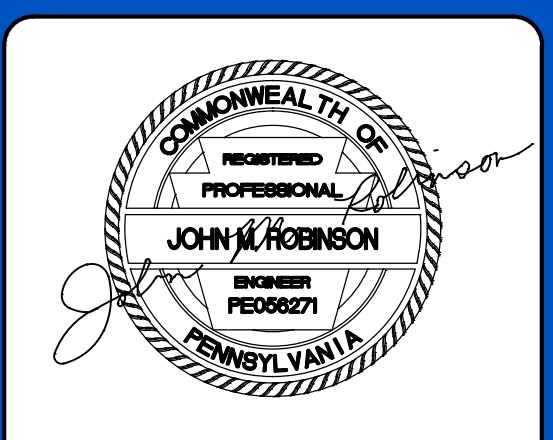
ENGINEER'S CERTIFICATION:

I, JOHN M. ROBINSON, P.E., HEREBY CERTIFY THAT THE SWM SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF CHAPTER 270 OF THE WEST WHITELAND TOWNSHIP CODE OF ORDINANCES, STORMWATER MANAGEMENT.

John M. Robinson 12/15/2025
 (PROFESSIONAL ENGINEER) (DATE)

NOTE:
 SEE SHEET NUMBERS 5, 6, 11 & 12 FOR PCSM PLAN NOTES, DETAILS AND OPERATION & MAINTENANCE PROCEDURES.

JMR ENGINEERING, LLC
 PROFESSIONAL CIVIL ENGINEERING • LAND PLANNING SERVICES
 106 SCHUBERT DRIVE ~ DOWNTOWN, PA 19335
 VOICE: (484) 880-7342
 EMAIL: ADMIN@JMRENGINEERING.COM
 WEBSITE: WWW.JMRENGINEERING.COM



JOHN M. ROBINSON
 PROFESSIONAL ENGINEER
 PENNSYLVANIA LICENSE NO. PE056271

UTILITY USERS LIST

USERS	RESPONSES
AQUA PENNSYLVANIA, INC.	
PAKAS EASTERN TRANSMISSION, LP	
AT&T LOCAL SERVICES	
TRANSCONTINENTAL GAS PIPELINE	
BUCKEYE PARTNERS	
VERISON PENNSYLVANIA, INC.	
COMCAST CABLE	
WEST WHITELAND TOWNSHIP	
COMCAST CABLE COMMUNICATIONS, INC.	
WILET COMMUNICATIONS, LLC	
EAST WHITELAND TOWNSHIP	
LEVELS COMMUNICATIONS	
PECO ENERGY	
FPL INTERSTATE ENERGY COMPANY	
SUNOCO, INC.	
SUNOCO PIPELINE, LP	

CALL BEFORE YOU DIG!
 PENNSYLVANIA HAS A 48 HOUR NOTICE REQUIREMENT FOR ALL UNDERGROUND UTILITY LINES AT LEAST 3 FEET DEEP. THE CONSTRUCTION OF CONCRETE AND METAL STRUCTURES MAY BE PROHIBITED. YOU MUST OBTAIN THE LOCATION OF ALL UNDERGROUND UTILITY LINES FROM THE CHESTER COUNTY CONSERVATION DISTRICT OR THE CHESTER COUNTY CONSERVATION DISTRICT. THE CHESTER COUNTY CONSERVATION DISTRICT, (810) 925-4920 MUST APPROVE ANY DEVIATION FROM THE E&S CONSTRUCTION SEQUENCE.

1-800-242-1776
 PCCS SERIAL NUMBER:
 20180261664 (WWT),
 20180261665 (CWT)

PLAN REVISIONS

REV	DATE	DESCRIPTION OF CHANGES
1	03/19/24	REVISED PER WWT TOWNSHIP REVIEW COMMENTS
2	12/03/25	NO REVISION THIS SHEET
3	12/15/25	REVISED SITE LAYOUT

PROJECT:
PRELIMINARY/FINAL LAND DEVELOPMENT PLAN FOR DATA CENTERS

LOCATION:
 215 VALLEY CREEK BLVD.
 EXTON, PA 19341
 WEST WHITELAND TOWNSHIP
 CHESTER COUNTY, PA

PARCELS:
TAX PARCEL NUMBER:
 41-3-4

CLIENT:
SENTINEL GREEN FIG, LLC
 505 5TH AVE, FLOOR 27
 NEW YORK, NY 10017

PROJECT No.: 1508-B
 SURVEY REF.: 1195-B (DSS)
 DRAWN BY: E.C.R.
 CHECKED BY: J.M.R.
 PLAN DATE: JANUARY 31, 2024
 PLAN SCALE: 1" = 100'

PCSM PLAN
 SHEET NUMBER:
5 OF 13
 Plot Date: Mon, Dec. 15, 2025
 File: 6 PCSM.DWG



LEGEND		EXISTING	PROPOSED
---	PROPERTY LINE	---	N/A
---	ADJACENT PROPERTY LINE	---	N/A
○	IRON PIN	○	N/A
□	CONCRETE MONUMENT	□	N/A
---	BUILDING SETBACK LINE	---	N/A
---	RIGHT-OF-WAY LINE	---	N/A
---	FLOODPLAIN LINE	---	N/A
---	FLOODWAY	---	N/A
---	RIPARIAN BUFFER ZONE 1	---	N/A
---	RIPARIAN BUFFER ZONE 2	---	N/A
---	RIPARIAN BUFFER ZONE 3	---	N/A
---	ASPHALT PAVEMENT	---	N/A
---	CURB	---	N/A
---	BUILDING	---	N/A
---	SIGN	---	N/A
---	SANITARY SEWER LINE	---	N/A
---	SANITARY SEWER MANHOLE	---	N/A
---	WATER LINE	---	N/A
---	FIRE HYDRANT	---	N/A
---	WATER VALVE	---	N/A
---	WATER METER	---	N/A
---	GAS LINE	---	N/A
---	GAS VALVE	---	N/A
---	OVERHEAD ELECTRIC LINE	---	N/A
---	UNDERGROUND ELECTRIC LINE	---	N/A
---	UTILITY POLE	---	N/A
---	FENCELINE	---	N/A
---	CONTOUR LINE	---	N/A
---	TREE LINE	---	N/A
---	DECIDUOUS TREE	---	N/A
---	CONIFEROUS TREE	---	N/A
---	SLOPES (15%-25%)	---	N/A
---	SLOPES (>25%)	---	N/A

POST CONSTRUCTION STORMWATER MANAGEMENT GENERAL NOTES

- THE PERMITTEE SHALL PROVIDE ENGINEERING CONSTRUCTION OVERSIGHT FOR THE PROPOSED STORMWATER BMPs. ADDITIONAL SOIL TESTING MAY BE REQUIRED PRIOR TO THE INSTALLATION OF INFILTRATION BMPs TO ENSURE PROPER LOCATION AND FUNCTION. A LICENSED PROFESSIONAL ENGINEER, KNOWLEDGEABLE IN DESIGN AND CONSTRUCTION OF STORMWATER BMPs, PREFERABLY THE DESIGN ENGINEER, SHALL CONDUCT THE OVERSIGHT.
- A NOTICE OF TERMINATION (NOT) WILL BE REQUIRED TO BE SUBMITTED FOLLOWING APPROVAL OF THE FINAL AS-BUILT PLANS, PRIOR TO ACCEPTING THE NOT, THE DEPARTMENT AND/OR CONSERVATION DISTRICT STAFF WILL PERFORM A FINAL INSPECTION TO ENSURE SITE STABILIZATION AND VERIFY ADEQUATE INSTALLATION AND FUNCTION OF STORMWATER BMPs.
- UPON PERMANENT STABILIZATION OF THE EARTH DISTURBANCE ACTIVITY UNDER SECTION 102.22(i)(2) OF THE PA CODE (RELATING TO PERMANENT STABILIZATION) AND INSTALLATION OF BMPs IN ACCORDANCE WITH AN APPROVED PLAN PREPARED AND IMPLEMENTED IN ACCORDANCE WITH SECTIONS 102.4 & 102.8 OF THE PA CODE (RELATING TO EROSION AND SEDIMENT CONTROL REQUIREMENTS; AND PCSM REQUIREMENTS), THE PERMITTEE SHALL SUBMIT A NOTICE OF TERMINATION TO DEP OR THE CONSERVATION DISTRICT. THE NOTICE OF TERMINATION MUST INCLUDE:
 - THE FACILITY NAME, ADDRESS AND LOCATION.
 - THE OPERATOR NAME AND ADDRESS.
 - THE PERMIT NUMBER.
 - THE REASON FOR PERMIT TERMINATION.
 - IDENTIFICATION OF THE PERSONS WHO HAVE AGREED TO AND WILL BE RESPONSIBLE FOR LONG TERM OPERATION AND MAINTENANCE OF THE PCSM BMPs IN ACCORDANCE WITH SECTION 102.8(m) OF THE PA CODE AND PROOF OF COMPLIANCE WITH SECTION 102.8(m)(2) OF THE PA CODE. PRIOR TO ACCEPTING THE NOT, DEP AND/OR CONSERVATION DISTRICT STAFF WILL PERFORM A FINAL INSPECTION AND APPROVE OR DENY THE NOTICE OF TERMINATION (NOT).
- A PERMITTEE OR CO-PERMITTEE THAT FAILS TO TRANSFER LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMP OR OTHERWISE FAILS TO COMPLY WITH THIS REQUIREMENT SHALL REMAIN LIABLE AND SEVERALLY RESPONSIBLE WITH THE LANDOWNER FOR LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMPs.
- DURING THE FIRST GROWING SEASON OR UNTIL ESTABLISHED, VEGETATION SHOULD BE INSPECTED EVERY 2 TO 3 WEEKS.
- DURING THE FIRST YEAR, THE WET POND SHALL BE INSPECTED AT LEAST 4 TIMES AND AFTER MAJOR STORMS (GREATER THAN 2 INCHES IN 24 HOURS) OR RAPID ICE BREAKUP. INSPECT THE VEGETATION, EROSION, FLOODING, CHANNELIZATION, BANK STABILITY, INLET/OUTLET CONDITIONS, EMBANKMENT, AND SEDIMENT/SOLIDS ACCUMULATION. PROBLEMS SHOULD BE CORRECTED AS SOON AS POSSIBLE.
- WET POND AND BUFFER VEGETATION MAY NEED SUPPORT (WATERING, WEEDING, MULCHING, REPAIRING, ETC.) DURING THE FIRST 3 YEARS. UNSUITABLE SPECIES SHOULD BE CAREFULLY REMOVED AND DESIRABLE REPLACEMENTS PLANTED IF NECESSARY.

NOTE:
SEE SHEET NUMBERS 5, 6, 11 & 12 FOR PCSM PLAN NOTES, DETAILS AND OPERATION & MAINTENANCE PROCEDURES.

STORMWATER MANAGEMENT FACILITIES NOTE
THE LANDOWNER ACKNOWLEDGES THAT PER THE PROVISIONS OF THE MUNICIPALITY'S STORMWATER MANAGEMENT ORDINANCE, IT IS UNLAWFUL TO MODIFY, REMOVE, FILL, LANDSCAPE, ALTER OR IMPAIR THE EFFICIENCY OF OR PLACE ANY STRUCTURE OVER VEGETATION, AND WASTE BRUSH CUTTINGS, OR OTHER WASTE OR DEBRIS INTO ANY PERMANENT STORMWATER MANAGEMENT BMP OR CONVEYANCE DESCRIBED IN THIS O&M PLAN OR TO ALLOW THE BMP OR CONVEYANCE TO DRAIN IN A MANNER WHICH DOES NOT CONFORM TO THIS O&M PLAN, WITHOUT WRITTEN APPROVAL FROM THE MUNICIPALITY.

PROCEDURES FOR REDUCING THE RISK OF SINKHOLE FORMATION AND FOR SINKHOLE REMEDIATION

GENERAL

- THE SITE IS UNDERLAIN BY KARST, OR CARBONATE GEOLOGY, AS SUCH, THERE IS AN INHERENT RISK OF SINKHOLE FORMATION WHICH CAN BE CONTROLLED, BUT NOT ELIMINATED. THE PROCEDURES OUTLINED HEREIN ARE INTENDED TO REDUCE THE RISK OF SINKHOLE FORMATION PARTICULARLY DURING AND AFTER CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR THE IMPLEMENTATION OF THESE PROCEDURES, WHICH ARE INCORPORATED TO THE CONTRACT. IN ADDITION, SPECIFICATIONS FOR THE REMEDIATION OF SINKHOLES, IF NECESSARY, ARE INCLUDED.

PROCEDURES FOR SINKHOLE RISK REDUCTION

- PRIOR TO BEGINNING OTHER EARTHWORK ACTIVITIES, CONSTRUCT PERMANENT AND/OR TEMPORARY DRAINAGE FACILITIES AS SHOWN ON THE PLANS, INCLUDING THE STORMWATER BASIN AND OUTLET CONTROL STRUCTURE. CONSTRUCT THE REQUIRED EROSION AND SEDIMENTATION CONTROLS AS SHOWN ON THE PLANS.
- CONFINE EARTH DISTURBANCE ACTIVITIES TO THE AREA REQUIRED FOR EACH DAY'S WORK.
- LIMIT THE EXTENT OF UTILITY AND FOUNDATION EXCAVATIONS TO THAT WHICH CAN BE BACKFILLED EACH DAY. FOR THOSE EXCAVATIONS WHICH ARE LEFT OPEN OVERNIGHT (PARTICULARLY WHEN RAIN OR SNOW IS FORECASTED), AND BEFORE EACH WEDDING, CONSTRUCT DIVERSION DIKES OR BERMS AROUND THESE OPENINGS TO LIMIT THE AMOUNT OF RUNOFF WHICH CAN COLLECT IN THEM. AFTER A PRECIPITATION EVENT, IMMEDIATELY REMOVE ANY STANDING WATER FROM SUCH EXCAVATIONS.
- AT THE END OF EACH DAY (PARTICULARLY WHEN RAIN OR SNOW IS FORECASTED), AND BEFORE EACH WEDDING, GRADE THE DISTURBED AREAS OF THE SITE TO DRAIN TOWARDS THE PREVIOUSLY CONSTRUCTED DRAINAGE FACILITIES, AND SEAL ANY OPENINGS USING A SMOOTH-DRUM ROLLER. AFTER A PRECIPITATION EVENT, IMMEDIATELY DISPERSE OR REMOVE ANY PONDED WATER.

REMIEDIATION OF SINKHOLES

THE FOLLOWING PROCEDURES ARE RECOMMENDED FOR THE REMEDIATION OF SINKHOLES WHICH OCCUR DURING CONSTRUCTION. THIS WORK SHALL BE PERFORMED UNDER THE DIRECTION OF A GEOTECHNICAL ENGINEER.

- CAREFULLY REMOVE ANY LOOSE OR DISTURBED SOIL AND ROCK FROM THE SINKHOLE OPENING IN AN ATTEMPT TO EXPOSE THE THREAT.
- IF THE THREAT REMAINS OPEN, FILL AND PLUG THE OPENING USING CONVENTIONAL LOW-STRENGTH CONCRETE (2,500 PSL. E' SLUMP). PROVIDE SUFFICIENT CONCRETE TO ALLOW IT SETTLE INTO THE VOID. AFTER THE CONCRETE HAS CURED, BACKFILL THE REMAINING OPENING WITH COMPACTED LIFTS OF NATIVE SOIL IN ACCORDANCE WITH THE EARTHWORK SPECIFICATIONS.
- IF THE THREAT COLLAPSES OR DISAPPEARS, COMPACT THE BOTTOM OF THE EXCAVATION AND BACKFILL THE EXCAVATION WITH NATIVE SOIL IN ACCORDANCE WITH THE EARTHWORK SPECIFICATIONS.
- FOR DEEP SINKHOLES (I.E. DEEPER THAN 8'), EACH LIFT OF BACKFILL SHOULD BE BENCHED A MINIMUM OF TWELVE INCHES (12") INTO THE SURROUNDING SOIL.
- FOR SINKHOLES WHICH OCCUR WITHIN THE BUILDING AREA OR BENEATH THE BUILDING FOUNDATIONS, MORE SUBSTANTIAL METHODS MAY BE REQUIRED SUCH AS COMPACTION GRADING OR ALTERNATIVE SUPPORT SYSTEMS. IF REQUIRED, THESE PROCEDURES WILL BE SPECIFIED IN MORE DETAIL BY THE ENGINEER.
- FOR PERSISTENT SINKHOLE ZONES WITHIN THE PAVED AREAS OF THE SITE, THE GEOTECHNICAL ENGINEER MAY RECOMMEND AND PROVIDE DETAILS AND SPECIFICATIONS FOR THE USE OF GEOTEXTILES TO SUPPORT THE PAVEMENT SUBGRADE OVER THIS AREA.

POST CONSTRUCTION STORMWATER MANAGEMENT LONG TERM OPERATIONS AND MAINTENANCE REQUIREMENTS

- UNTIL THE PERMITTEE OR CO-PERMITTEE HAS RECEIVED WRITTEN APPROVAL OF A NOTICE OF TERMINATION, THE PERMITTEE OR CO-PERMITTEE WILL REMAIN RESPONSIBLE FOR COMPLIANCE WITH THE PERMIT TERMS AND CONDITIONS INCLUDING LONG-TERM OPERATION AND MAINTENANCE OF ALL PCSM BMPs ON THE PROJECTS SITE AND IS RESPONSIBLE FOR VIOLATIONS OCCURRING ON THE PROJECT SITE.
- THE PERMITTEE OR CO-PERMITTEE SHALL BE RESPONSIBLE FOR LONG-TERM OPERATION AND MAINTENANCE OF PCSM BMPs UNLESS A DIFFERENT PARTY IS IDENTIFIED IN THE NOTICE OF TERMINATION AND HAS AGREED TO LONG-TERM OPERATION AND MAINTENANCE OF PCSM BMPs.
- FOR ANY PROPERTY CONTAINING A PCSM BMP, THE PERMITTEE OR CO-PERMITTEE SHALL RECORD AN INSTRUMENT WITH THE RECORDER OF DEEDS WHICH WILL ASSURE DISCLOSURE OF THE PCSM BMP AND THE RELATED OBLIGATIONS IN THE ORDINARY COURSE OF A TITLE SEARCH OF THE SUBJECT PROPERTY. THE INSTRUMENT MUST IDENTIFY THE PCSM BMP, PROVIDE FOR NECESSARY ACCESS RELATED TO LONG-TERM OPERATION AND MAINTENANCE FOR PCSM BMPs, AND PROVIDE THAT THE RESPONSIBILITY FOR LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMP IS A COVENANT THAT RUNS WITH THE LAND. THE INSTRUMENT SHALL BE FILED BY THE ENGINEER BY THE DATE OF THE REPORT PROVIDED PROOF OF FILING WITH THE NOTICE OF TERMINATION UNDER PA CODE SECTION: 102.22(i)(5) (PERMIT TERMINATION).
- THE TOWNSHIP RESERVES THE RIGHT, BUT NOT THE RESPONSIBILITY, TO CONDUCT SUCH INSPECTIONS AS WELL AS TO EXECUTE SUCH ACTIONS AS MAY BE NECESSARY TO ELIMINATE ANY IMMEDIATE PUBLIC HEALTH OR SAFETY THREAT. THE TOWNSHIP FURTHER RESERVES THE RIGHT TO CHARGE THE PROPERTY OWNER FOR SUCH INSPECTIONS AND ACTIONS IN ACCORDANCE WITH THE DULY ENACTED FEE SCHEDULE.
- THE PROFESSIONAL ENGINEER CONDUCTING THE INSPECTION SHALL BE REQUIRED TO SUBMIT A WRITTEN REPORT TO THE TOWNSHIP AND CONSERVATION DISTRICT WITHIN ONE MONTH OF COMPLETION OF INSPECTION. THE REPORT WILL RESIDENT DOCUMENTATION AND INCLUDE: THE DATES, TIMES, AND CONDITIONS OF THE INSPECTION; WEST WHITELAND TOWNSHIP LEVEL COMMUNICATIONS; THE NUMBER OF SINKHOLES FOUND; THE REPORT FILED BY THE OWNER WITHIN ONE MONTH OF THE DATE OF THE ISSUANCE OF THE REPORT; AND THE REPORT DOCUMENT ALL PREVIOUS INSPECTIONS AND ALL PREVIOUS BMP REPAIR AND MAINTENANCE ACTIVITIES.
- THE PERSON RESPONSIBLE FOR PERFORMING LONG-TERM OPERATION AND MAINTENANCE SHALL ENTER INTO AN AGREEMENT WITH ANOTHER PERSON OR ORGANIZATION, A CONSERVATION DISTRICT, NONPROFIT ORGANIZATION, MUNICIPALITY, AUTHORITY, PRIVATE CORPORATION OR OTHER PERSON TO TRANSFER THE RESPONSIBILITY FOR LONG-TERM OPERATION AND MAINTENANCE AND PROVIDE NOTICE THEREOF TO THE DEPARTMENT.
- STORMWATER MANAGEMENT BMP AREAS SHALL BE INSPECTED BY A REGISTERED PROFESSIONAL ENGINEER LICENSED IN THE COMMONWEALTH OF PENNSYLVANIA ON BEHALF OF THE APPLICANT OR RESPONSIBLE ENTITY (INCLUDING THE TOWNSHIP ENGINEER FOR DEDICATED FACILITIES) ON THE FOLLOWING BASIS:
 - ANNUALLY FOR THE FIRST FIVE (5) YEARS.
 - ONCE EVERY THREE (3) YEARS THEREAFTER.
- ANY EROSION CAUSED BY DISCHARGES FROM THE BMP SHALL BE IMMEDIATELY REPAIRED AND STABILIZED.
- VEGETATION SHOULD BE MAINTAINED TO AT LEAST 80% COVER OF THE EMERGENT VEGETATION ZONE AND BUFFER AREA.
- SEDIMENT SHOULD BE REMOVED FROM THE FOREBAY BEFORE IT OCCUPIES 50% OF THE FOREBAY, TYPICALLY EVERY 5 TO 10 YEARS.
- ANY DEFICIENCIES FOUND BY THE OWNER DURING HIS OR HER INSPECTIONS SHALL BE CORRECTED AS SOON AS POSSIBLE, BUT NO LONGER THAN ONE MONTH FROM DISCOVERY.
- NO BMP OR MAN-MADE CONVEYANCE MAY BE USED BY THE OWNER OR OTHERS FOR ANY PURPOSE OTHER THAN ITS INTENDED STORMWATER CONTROL FUNCTION.

BMP DISCHARGE NOTE
ANY EROSION CAUSED BY DISCHARGES FROM THE PROPOSED BMP FACILITIES SHALL BE REPAIRED AND STABILIZED.

PCSM REPORTING AND RECORDKEEPING
THE PCSM PLAN, INSPECTION REPORTS AND MONITORING RECORDS SHALL BE AVAILABLE FOR REVIEW AND INSPECTION BY WEST WHITELAND TOWNSHIP OR THE CONSERVATION DISTRICT.

MAINTENANCE OWNERSHIP
UPON COMPLETION OF THE PROPOSED BMP'S, OWNERSHIP & MAINTENANCE RESPONSIBILITIES SHALL BE TRANSFERRED FROM THE NPDES PERMITTEE TO THE INDIVIDUAL PROPERTY OWNERS.

RESPONSIBLE PARTY DURING CONSTRUCTION
(CONSTRUCTION & STABILIZATION OF POST CONSTRUCTION BMP'S) THE SITE CONTRACTOR IS RESPONSIBLE FOR THE BMP'S UNTIL THE NPDES PERMIT NOTICE OF TERMINATION (NOT) IS EXECUTED.

RESPONSIBLE PARTY DURING OWNERSHIP
(ON-GOING OPERATION & MAINTENANCE OF POST CONSTRUCTION BMP'S) THE PROPERTY OWNER(S) SHALL BE RESPONSIBLE FOR THE BMP'S ON THEIR LOT.

ANTICIPATED CONSTRUCTION WASTES:

- TREES SHALL BE CHIPPED AND REMOVED OFFSITE FOR USE AS MULCH.
- BUILDING MATERIALS: BUILDING MATERIALS SHALL BE REMOVED, RECYCLED AND DISPOSED OF PER THE "CONSTRUCTION WASTE DISPOSAL" NOTE BELOW.
- ROCK WASTE: ALL ROCKS SUITABLE FOR LANDSCAPING USES SHALL BE USED ON-SITE OR AT ANOTHER FACILITY.
- SOIL & SEDIMENT WASTE: SOIL & SEDIMENT SHALL BE USED ON-SITE AS FILL MATERIAL WHERE POSSIBLE, ANY EXCESS MATERIAL NOT USED ON-SITE MAY ONLY BE DISPOSED AT A FACILITY WITH A VALID EARTH DISTURBANCE AND NPDES PERMIT APPROVED AND WHERE ALL BMPs ARE PROPERLY INSTALLED.
- ALL SEDIMENT REMOVED DURING MAINTENANCE AND CLEANING OF EROSION AND SEDIMENTATION CONTROL DEVICES WILL BE INCORPORATED INTO THE FINE GRADINGS UPSTREAM FROM A SEDIMENT CONTROL DEVICE. EXCESS MATERIAL REMOVED FROM EROSION AND SEDIMENTATION CONTROL MEASURES THAT CONTACT INCORPORATED INTO THE FINE GRADINGS SHALL BE REMOVED AND MAY ONLY BE DISPOSED AT A FACILITY WITH A VALID EARTH DISTURBANCE AND NPDES PERMIT APPROVED AND WHERE ALL BMPs ARE PROPERLY INSTALLED.

CONSTRUCTION WASTE DISPOSAL NOTE:
ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA CODE 601.11. ALL OTHER WASTES, INCLUDING WASTES FROM LANDSCAPING, SHALL BE RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA CODE 601.11. ALL WASTES SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.

VALLEY CREEK ATTRIBUTES

DESIGNATION:
VALLEY CREEK HAS A PA CODE CHAPTER 93 CLASSIFICATION OF COLD WATER FISHES (CWF).

IMPAIRMENTS:

SOURCES:
URBAN RUNOFF/STORM SEWERS (CAT 4C) FLOW REGIME MODIFICATION
URBAN RUNOFF/STORM SEWERS (CAT 4A) SILTATION

CAUSES:
HYDROLOGIC ALTERATION
SILTATION

JW ENGINEERING, LLC

PROFESSIONAL CIVIL ENGINEERING • LAND PLANNING SERVICES
106 SCHUBERT DRIVE ~ DOWNTOWN, PA 19335

PHONE: (484) 880-7342
VOICE: (484) 880-7342
EMAIL: ADMIN@JWENGINEERING.COM
WEBSITE: WWW.JWENGINEERING.COM

JOHN M. ROBINSON
PROFESSIONAL ENGINEER
PENNSYLVANIA LICENSE NO. PE056271

UTILITY USERS LIST

USERS: AQUA PENNSYLVANIA, INC.; TRANSFORMER TRANSMISSION, LP; AT&T LOCAL SERVICES; TRANSCONTINENTAL GAS PIPELINE; BUCKEYE PARTNERS; VERISON PENNSYLVANIA, INC.; COMCAST CABLE; WEST WHITELAND TOWNSHIP; COMCAST CABLE COMMUNICATIONS, INC.; WITEL COMMUNICATIONS, LLC; EAST WHITELAND TOWNSHIP; LEVEL COMMUNICATIONS; PECO ENERGY; PHILIPPS ENERGY COMPANY; SUNOCO PIPELINE, LP.

RESPONSES:

CALL BEFORE YOU DIG!

PROVIDING AN ADVANCE NOTICE OF CONSTRUCTION AND NOTIFY UNDERGROUND UTILITY LOCATIONS AT LEAST 3 DAYS PRIOR TO THE START OF CONSTRUCTION. THE ACCURACY OF THE LOCATION OF UTILITIES LOCATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION ACTIVITY.

1-800-242-1776
POCS SERIAL NUMBER: 20180261664 (WWT), 20180261665 (CWT)

PLAN REVISIONS

REV	DATE	DESCRIPTION OF CHANGES
1	03/19/24	REVISED PER WWT TOWNSHIP REVIEW COMMENTS
2	12/03/25	NO REVISION THIS SHEET
3	12/15/25	REVISED SITE LAYOUT

PROJECT:
PRELIMINARY/FINAL LAND DEVELOPMENT PLAN FOR DATA CENTERS

LOCATION:
215 VALLEY CREEK BLVD.
EXTON, PA 19341
WEST WHITELAND TOWNSHIP
CHESTER COUNTY, PA

PARCELS:
TAX PARCEL NUMBER:
41-3-4

CLIENT:
SENTINEL GREEN FIG, LLC
505 5TH AVE, FLOOR 27
NEW YORK, NY 10017

PROJECT No.: 1508-B
SURVEY REF.: 1195-B (DSS)
DRAWN BY: E.C.R.
CHECKED BY: J.M.R.
PLAN DATE: JANUARY 31, 2024
PLAN SCALE: 1" = 50'

SHEET TITLE:
PCSM PLAN
SHEET NUMBER:
6 OF 13

Plot Date: Sat, Dec. 13, 2025
File: 6 PCSM.DWG



PROPOSED VARIABLE WIDTH ACCESS/UTILITY RIGHT-OF-WAY FROM LOT 1 TO BENEFIT TAX PARCEL #41-3-4
 10' WIDE WILLIAMS COMMUNICATIONS, INC. EASEMENT CENTERED ON FIBER OPTICS LINE AS STAKED BY PIPE LINE PERSONNEL D.B. 4497, PG. 43

LIMITS OF DISTURBANCE 2,448,000 S.F. (56.20 AC)

PROJECT BOUNDARY 59.90 AC

SEDIMENT BASIN '1'

NOTE:
 SEE SHEET'S 7, 8 AND 13 FOR ADDITIONAL EROSION POLLUTION CONTROL NOTES AND DETAILS.

LEGEND		EXISTING	PROPOSED
---	PROPERTY LINE		N/A
---	ADJACENT PROPERTY LINE		N/A
○	IRON PIN		N/A
□	CONCRETE MONUMENT		N/A
---	RIGHT-OF-WAY LINE		N/A
---	FLOODPLAIN LINE		N/A
---	FLOODWAY		N/A
---	RIPARIAN BUFFER ZONE 1		N/A
---	RIPARIAN BUFFER ZONE 2		N/A
---	RIPARIAN BUFFER ZONE 3		N/A
---	ASPHALT PAVEMENT		
---	CURB		
---	BUILDING		
---	SIGN		N/A
---	SANITARY SEWER LINE		
⊗	SANITARY SEWER MANHOLE		
○	WATER LINE		
⊕	FIRE HYDRANT		
○	WATER VALVE		N/A
W.M.	WATER METER		N/A
G.L.	GAS LINE		N/A
G.V.	GAS VALVE		N/A
O.H.E.	OVERHEAD ELECTRIC LINE		N/A
UG	UNDERGROUND ELECTRIC LINE		
---	UTILITY POLE		N/A
X	FENCELINE		X
---	CONTOUR LINE		500
---	TREE LINE		N/A
---	DECIDUOUS TREE		N/A
---	CONIFEROUS TREE		N/A
---	SLOPES (15%-25%)		N/A
---	SLOPES (>25%)		N/A
---	SLOPE MATTING		
---	CONCRETE WASHOUT		
---	SILT SOCK / SUPER SILT		
---	(S) DENOTES NO. IN E&S CALC.		
---	INLET PROTECTION		
---	LIMITS OF DISTURBANCE		

NOTE:
 SEE SHEET'S 8 AND 12 FOR ADDITIONAL EROSION POLLUTION CONTROL NOTES AND DETAILS.

TEMPORARY SEED MIXTURE:

SITE PREPARATION: APPLY 1 TON OF QUALITY TOPSOIL PER ACRE PLUS FERTILIZER AT THE RATE OF 50-50-50 PER ACRE. WORK INTO THE SOIL WHERE POSSIBLE. MULCH WITH HAY OR STRAW AT A RATE OF 1 TON PER ACRE.

SPECIES: LBS./ACRE:

FOR SPRING SEEDING (UP TO JUNE 15):
 ANNUAL RYEGRASS 40 (2 BU)
 SPRING OATS PLUS RYEGRASS 64 LBS OATS (2 BU) + 32 LBS RYEGRASS (1 BU)
 OR WINTER WHEAT 120 (3 BU)

FOR LATE SPRING & SUMMER SEEDING (JUNE 16 TO AUGUST 15):
 ANNUAL RYEGRASS 40
 OR SPANISH FORAGE MILLET 40
 OR SPRING OATS 36 (2 BU)
 OR WINTER WHEAT 120 (3 BU)

FOR LATE SUMMER & FALL SEEDING (AUGUST 16 AND LATER):
 ANNUAL RYEGRASS 40
 OR WINTER WHEAT 120 (3 BU)
 OR SPRING OATS 36 (2 BU)
 (CAN BE USED BUT WINTER KILL)

"SHADE MIX" SEED MIXTURE:

FOR WELLS TO MODERATELY DRAIN SOILS IN HEAVY SHADE:
 CLOVER 100 LBS/AC
 PERENNIAL RYEGRASS 100 LBS/AC

PERMANENT SEED MIXTURE:

NAME	PARTS BY WEIGHT	PURITY	GERMINATION
KENTUCKY BLUE GRASS VARIETIES	30%	95%	85%
PERENNIAL RYEGRASS	30%	95%	85%
PENNSYLVANIA FESCUE	30%	95%	85%
ANNUAL RYEGRASS	10%	95%	85%

MULCH SHALL BE HAY WHICH IS FREE OF WEEDS AND SEEDS, NOT WOLLY OR ROTTEN, AND SHALL BE APPLIED TO ALL AREAS AT A RATE OF 3 TONS PER ACRE ON STEEP SLOPES (GREATER THAN 3:1) COVER SEEDING AREAS WITH AN ACCEPTABLE HAY/STRAW MULCH SHALL BE IMMEDIATELY ANCHORED EITHER BY SPRINKLING WITH WATER OR WITH A SHARED ASPHALT CONTAINING NO SOLVENTS OR SALTING AGENTS TOGETHER WITH AN ANNUAL LIME UNIFORMLY APPLIED AT THE RATE OF 31 GAL. PER 1,000 SQUARE YARDS.

SOIL: SOIL SHALL BE GROWN UNDER THE SUPERVISION OF THE PENNSYLVANIA DEPARTMENT OF AGRICULTURE. SOIL FROM PLANT INDUSTRY OR SHALL BE COMPOSED OF ONLY BLUE TAG CERTIFIED SEED.

SEED: ALL SEED SHALL BE FRESH, ALL NEW CROP SEED SHALL BE LABELED IN ACCORDANCE WITH THE U.S. DEPARTMENT OF AGRICULTURE RULES AND REGULATIONS UNDER THE FEDERAL SEED ACT. THE DATE OF PURCHASE SHALL BE KNOWN, PERCENT BY WEIGHT PURITY AND GERMINATION. THE GRASS SEED SHALL CONTAIN 10% MOISTURE. THE SEED SHALL BE TESTED WITH THE FOLLOWING WEIGHT, PURITY AND GERMINATION. THE GRASS SEED SHALL CONTAIN 10% MOISTURE. THE SEED SHALL BE TESTED WITH THE FOLLOWING WEIGHT, PURITY AND GERMINATION. THE GRASS SEED SHALL CONTAIN 10% MOISTURE. THE SEED SHALL BE TESTED WITH THE FOLLOWING WEIGHT, PURITY AND GERMINATION.

MULCH, LIME, FERTILIZER, SOD & SEED NOTES:

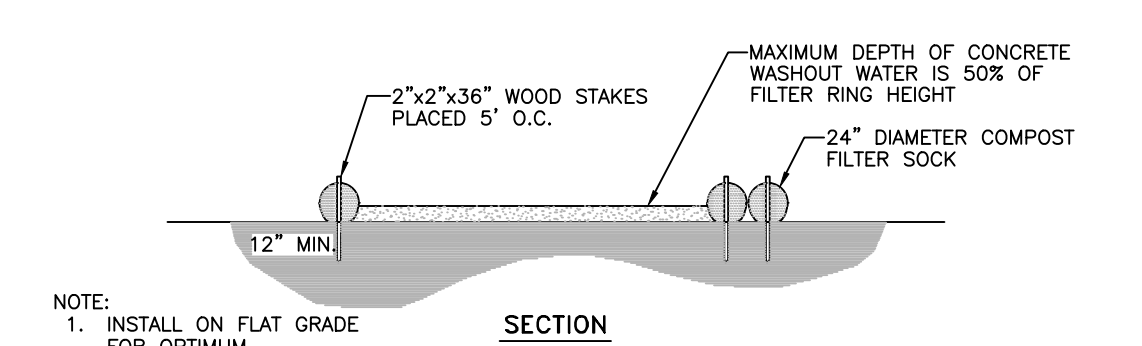
MULCH: APPLIED MULCH SHALL BE EITHER HAY/STRAW OR HYDROMULCH. HAY/STRAW MULCH SHALL BE FREE OF WEEDS AND SEEDS, NOT WOLLY OR ROTTEN, AND SHALL BE APPLIED TO ALL AREAS AT A RATE OF 3 TONS PER ACRE ON STEEP SLOPES (GREATER THAN 3:1) COVER SEEDING AREAS WITH AN ACCEPTABLE HAY/STRAW MULCH SHALL BE IMMEDIATELY ANCHORED EITHER BY SPRINKLING WITH WATER OR WITH A SHARED ASPHALT CONTAINING NO SOLVENTS OR SALTING AGENTS TOGETHER WITH AN ANNUAL LIME UNIFORMLY APPLIED AT THE RATE OF 31 GAL. PER 1,000 SQUARE YARDS.

LIME: AGRICULTURAL GRADE LIME SHALL BE APPLIED TO ALL DISTURBED AREAS PRIOR TO SEEDING AT THE RATE OF FOUR (4) TONS PER ACRE.

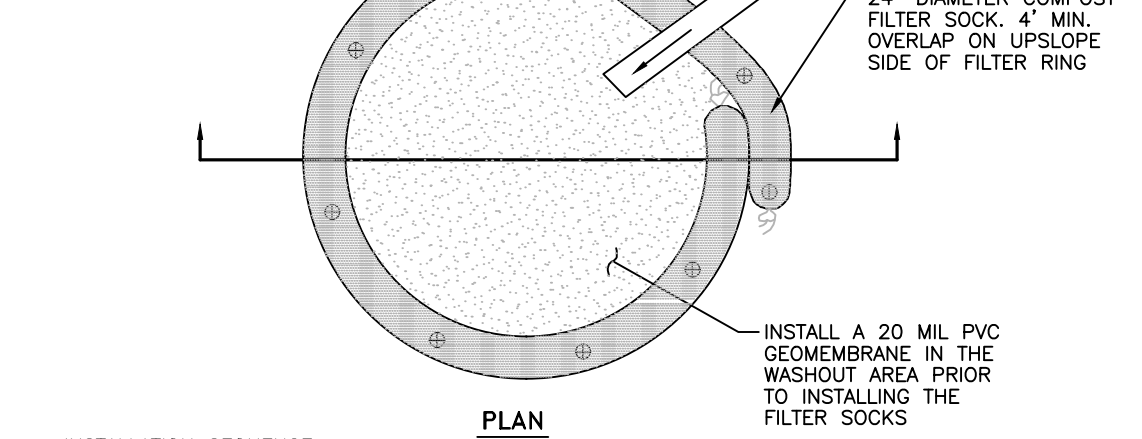
FERTILIZER: 10-20-20 FERTILIZER SHALL BE APPLIED TO ALL DISTURBED AREAS PRIOR TO SEEDING AT THE RATE OF ONE THOUSAND (1,000) LBS PER ACRE.

SOD: KENTUCKY BLUEGRASS SOD (IF CALLED FOR) SOD SHALL BE GROWN UNDER THE SUPERVISION OF THE PENNSYLVANIA DEPARTMENT OF AGRICULTURE. SOIL FROM PLANT INDUSTRY OR SHALL BE COMPOSED OF ONLY BLUE TAG CERTIFIED SEED.

SEED: ALL SEED SHALL BE FRESH, ALL NEW CROP SEED SHALL BE LABELED IN ACCORDANCE WITH THE U.S. DEPARTMENT OF AGRICULTURE RULES AND REGULATIONS UNDER THE FEDERAL SEED ACT. THE DATE OF PURCHASE SHALL BE KNOWN, PERCENT BY WEIGHT PURITY AND GERMINATION. THE GRASS SEED SHALL CONTAIN 10% MOISTURE. THE SEED SHALL BE TESTED WITH THE FOLLOWING WEIGHT, PURITY AND GERMINATION. THE GRASS SEED SHALL CONTAIN 10% MOISTURE. THE SEED SHALL BE TESTED WITH THE FOLLOWING WEIGHT, PURITY AND GERMINATION.



NOTE:
 1. INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE.
 2. 18" DIAMETER FILTER SOCK MAY BE STACKED ONTO DOUBLE 24" DIAMETER SOCKS IN PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT.

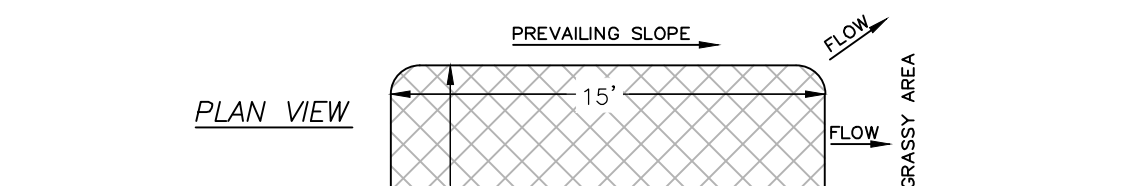


INSTALLATION SEQUENCE:
 1. PREPARE SURFACE BY REMOVING ANY DEBRIS AND ENSURING A SMOOTH CONSISTENT SURFACE IS PROVIDED.
 2. INSTALL PVC GEOMEMBRANE IN WASHOUT AREA.
 3. COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL OVERLAP TO FORM A CIRCLE AS SHOWN.
 4. UPON REMOVAL OF THE WASHOUT AREA, STAKES SHALL BE REMOVED, THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE BARRIER SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.
 5. ALL CONCRETE AND THE GEOMEMBRANE MUST BE REMOVED FROM THE SITE AND DISPOSED OF AT AN APPROVED DEW FACILITY.

MAINTENANCE NOTES:
 WASHOUT AREA SHALL BE INSPECTED DAILY. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.

INSPECTIONS:
 INSPECTIONS MUST BE PERFORMED ON A WEEKLY BASIS. ALL SITE INSPECTIONS WILL BE DOCUMENTED IN AN INSPECTION LOG KEPT FOR THIS PURPOSE. THE COMPLIANCE ACTIONS AND THE DATE, TIME AND NAME OF THE PERSON CONDUCTING THE INSPECTION LOG WILL BE KEPT ON SITE AT ALL TIMES AND MADE AVAILABLE TO THE DISTRICT UPON REQUEST.

CONCRETE WASHOUT AREA DETAIL
 (NOT TO SCALE)



PUMPED WATER FILTER BAG
 (NOT TO SCALE)

NOTES:
 1. FOR USE DURING STREAM CROSSING, DOWNSTREAM, AND/OR IF GROUNDWATER IS ENCOUNTERED OR SURFACE WATER ACCUMULATES DURING GRADING AND CONSTRUCTION ACTIVITIES, ANY WATER ENCOUNTERED WITHIN THE PROJECT AREA SHALL BE FILTERED THROUGH THE SEDIMENT FILTRATION BAG PRIOR TO DISCHARGE.
 2. THE FILTRATION BAG SHOULD BE AN ACE ENVIRONMENTAL "DORTRAG" OR APPROVED EQUIVALENT MADE FROM NON-WOVEN GEOTEXTILE MATERIAL WITH HIGH STRENGTH, DOUBLE STITCHED "T" TYPE SEAMS. IT SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS.
 3. A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES MUST BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED.
 4. BAGS SHALL BE LOCATED IN WELL-VEGETATED FORESTED AREAS & DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS, WHERE THIS IS NOT POSSIBLE, A GEOTEK FLOW PATH SHALL BE PROVIDED. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5%.
 5. THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED.
 6. THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHOULD BE PLUGGING AND SCREENED.

NRCS SOILS IDENTIFICATION TABLE

SYMBOL DESCRIPTION:	HYDROLOGIC GROUP	FARMLAND CLASSIFICATION	LAND CAPABILITY	SEASONAL HIGH WATER DEPTH	DEPTH TO BEDROCK
"CB" CONESTOGA SOIL LOAM, 3 TO 8 PERCENT SLOPES	B	NOT PRIME	2e	>80 INCHES	60"-99"

NOTE: THE ENTIRE SITE IS UNDERLAIN WITH THE ABOVE SOIL TYPE.

PROCEDURES FOR REDUCING THE RISK OF SINKHOLE FORMATION AND FOR SINKHOLE REMEDIATION

GENERAL:
 1. THE SITE IS UNDERLAIN BY LIMESTONE AT DEPTH. AS SUCH, THERE IS AN INHERENT RISK OF SINKHOLE FORMATION WHICH CAN BE CONTROLLED, BUT NOT ELIMINATED. THE PROCEDURES OUTLINED HEREIN ARE INTENDED TO REDUCE THE RISK FOR SINKHOLE FORMATION AT THE SITE DURING AND AFTER CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR THE IMPLEMENTATION OF THESE PROCEDURES, WHICH ARE INCIDENTAL TO THE CONTRACT. IN ADDITION, SPECIFICATIONS FOR THE REMEDIATION OF SINKHOLES, IF NECESSARY, ARE INCLUDED.

PROCEDURES FOR SINKHOLE RISK REDUCTION

- PRIOR TO BEGINNING OTHER EARTHWORK ACTIVITIES, CONSTRUCT PERMANENT AND/OR TEMPORARY DRAINAGE FACILITIES AS SHOWN ON THE PLANS, INCLUDING THE STORMWATER BASIN AND OUTLET CONTROL STRUCTURE. CONSTRUCT THE REQUIRED EROSION AND SEDIMENTATION CONTROLS AS SHOWN ON THE PLANS.
- CONFINE EARTH DISTURBANCE ACTIVITIES TO THE AREA REQUIRED FOR EACH DAY'S WORK.
- LIMIT THE EXTENT OF UTILITY AND FOUNDATION EXCAVATIONS TO THAT WHICH CAN BE BACKFILLED EACH DAY. FOR THOSE EXCAVATIONS WHICH ARE LEFT OPEN OVERNIGHT (PARTICULARLY WHEN RAIN OR SNOW IS FORECASTED), AND BEFORE EACH WEEKEND, CONSTRUCT DIVERSION Dikes OR BERMUS AROUND THESE OPENINGS TO LIMIT THE AMOUNT OF RUNOFF WHICH CAN COLLECT IN THEM. AFTER A PRECIPITATION EVENT, IMMEDIATELY REMOVE ANY STANDING WATER FROM SUCH EXCAVATIONS.
- AT THE END OF EACH DAY (PARTICULARLY WHEN RAIN OR SNOW IS FORECASTED), AND BEFORE EACH WEEKEND, GRADE THE DISTURBED AREAS OF THE SITE TO DRAIN TOWARDS THE PREVIOUSLY CONSTRUCTED DRAINAGE FACILITIES, AND SEAL-ROLL THE DISTURBED SOIL USING A SMOOTH-DRUM ROLLER. AFTER A PRECIPITATION EVENT, IMMEDIATELY DISPERSE OR REMOVE ANY PONDED WATER.

REMEDIATION OF SINKHOLES

THE FOLLOWING PROCEDURES ARE RECOMMENDED FOR THE REMEDIATION OF SINKHOLES WHICH OCCUR DURING CONSTRUCTION. THIS WORK SHALL BE PERFORMED UNDER THE DIRECTION OF A GEOTECHNICAL ENGINEER.

- CAREFULLY REMOVE ANY LOOSE OR DISTURBED SOIL AND ROCK FROM THE SINKHOLE OPENING IN AN ATTEMPT TO EXPOSE THE THROAT.
- IF THE THROAT REMAINS OPEN, FILL AND PLUG THE OPENING USING CONVENTIONAL, LOW-STRENGTH CONCRETE (2,500 PSI, 6" SLUMP). PROVIDE SUFFICIENT CONCRETE TO ALLOW IT SETTLE INTO THE VOID AFTER THE CONCRETE HAS CURED. BACKFILL THE REMAINING OPENING WITH COMPACTED LIFTS OF NATIVE SOIL IN ACCORDANCE WITH THE GEOTECHNICAL SPECIFICATIONS.
- IF THE THROAT COLLAPSES OR DISAPPEARS, COMPACT THE BOTTOM OF THE EXCAVATION AND BACKFILL THE EXCAVATION WITH NATIVE SOIL IN ACCORDANCE WITH THE EARTHWORK SPECIFICATIONS.
- FOR DEEP SINKHOLES (I.E. DEEPER THAN 8'), EACH LIFT OF BACKFILL SHOULD BE BENCHED A MINIMUM OF TWELVE INCHES (12") INTO THE SURROUNDING SOIL.
- FOR SINKHOLES WHICH OCCUR WITHIN THE BUILDING AREA OR BENEATH THE BUILDING FOUNDATIONS, MORE SUBSTANTIAL MEASURES MAY BE REQUIRED, SUCH AS COMPACTION GROUTING OR ALTERNATIVE SUPPORT SYSTEMS. IF REQUIRED, THESE PROCEDURES WILL BE SPECIFIED IN MORE DETAIL BY THE GEOTECHNICAL ENGINEER.
- FOR PERSISTENT SINKHOLE ZONES WITHIN THE PAVED AREAS OF THE SITE, THE GEOTECHNICAL ENGINEER MAY RECOMMEND AND PROVIDE DETAILS AND SPECIFICATIONS FOR THE USE OF GEOSYNTHETICS TO SUPPORT THE PAVEMENT SUBGRADE OVER THIS AREA.

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 EMAIL: ADMIN@JMRENGINEERING.COM
 WEBSITE: WWW.JMRENGINEERING.COM



JOHN M. ROBINSON
 PROFESSIONAL ENGINEER
 PENNSYLVANIA LICENSE NO. PE056271

UTILITY USERS LIST

USERS	RESPONSES
AQUA PENNSYLVANIA, INC.	
TEXAS EASTERN TRANSMISSION, LP	
AT&T LOCAL SERVICES	
TRANSCONTINENTAL GAS PIPELINE	
BUCKEYE PARTNERS	
VERISON PENNSYLVANIA, INC.	
COMCAST CABLE	
WEST WHITELAND TOWNSHIP	
COMCAST CABLE COMMUNICATIONS, INC.	
LEVEL COMMUNICATIONS, LLC	
EAST WHITELAND TOWNSHIP	
LEVEL COMMUNICATIONS	
PECO ENERGY	
RPL INTERSTATE ENERGY COMPANY	
SUNOCO PIPELINE, LP	

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PROVIDING 48 HOURS NOTICE TO ALL UTILITIES TO LOCATE AND MARK ALL UTILITIES PRIOR TO ANY EXCAVATION OR DRILLING. PENNSYLVANIA STATE COLLEGE OF PENNSYLVANIA. 1-800-242-1776
 POCS SERIAL NUMBER: 20180261664 (WWT), 20180261665 (CWT)

PLAN REVISIONS

REV. DATE	DESCRIPTION OF CHANGES
1 03/19/24	REVISIONS PER WWT TOWNSHIP REVIEW COMMENTS
2 12/03/25	ADDED TREE PROTECTION FENCING
3 12/15/25	REVISED SITE LAYOUT

PROJECT: PRELIMINARY/FINAL LAND DEVELOPMENT PLAN FOR DATA CENTERS

LOCATION:
 215 VALLEY CREEK BLVD.
 EXTON, PA 19341
 WEST WHITELAND TOWNSHIP
 CHESTER COUNTY, PA

PARCELS:
 TAX PARCEL NUMBER:
 41-3-4

CLIENT:
SENTINEL GREEN FIG, LLC
 505 5TH AVE, FLOOR 27
 NEW YORK, NY 10017

PROJECT No.: 1508-B
 SURVEY REF.: 1195-B (DSS)

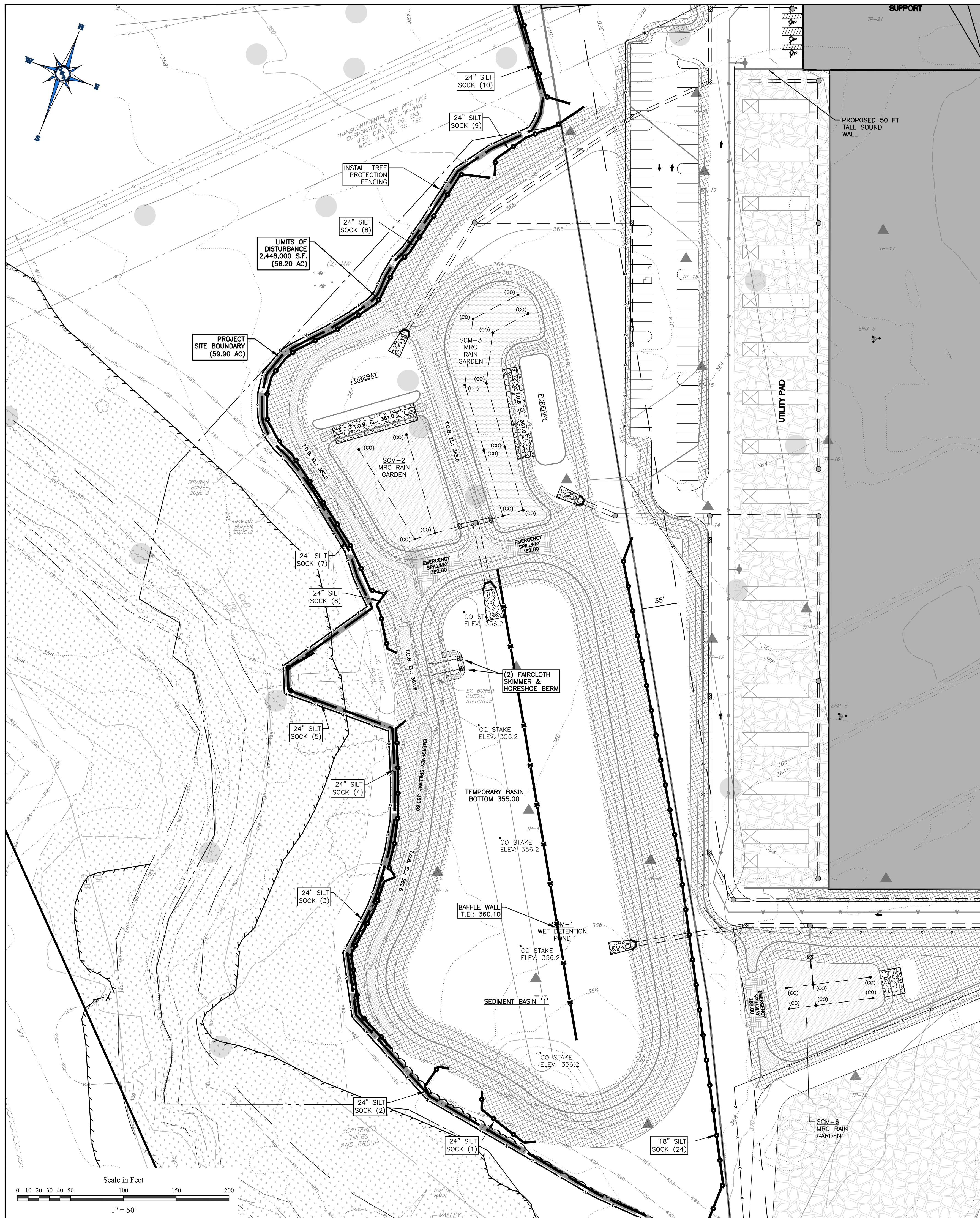
DRAWN BY: E.C.R.
 CHECKED BY: J.M.R.
 PLAN DATE: JANUARY 31, 2024

SCALE: 1" = 100'

E&S CONTROL PLAN

SHEET NUMBER:
7 OF 13

Plot Date: Sat, Dec. 13, 2025
 File: 7 EROSION.DWG



LEGEND

EXISTING	PROPOSED
---	PROPERTY LINE N/A
---	ADJACENT PROPERTY LINE N/A
○	IRON PIN N/A
□	CONCRETE MONUMENT N/A
---	RIGHT-OF-WAY LINE N/A
---	FLOODPLAIN LINE N/A
---	FLOODWAY N/A
---	RIPARIAN BUFFER ZONE 1 N/A
---	RIPARIAN BUFFER ZONE 2 N/A
---	RIPARIAN BUFFER ZONE 3 N/A
---	ASPHALT PAVEMENT N/A
---	CURB N/A
---	BUILDING N/A
---	SIGN N/A
---	SANITARY SEWER LINE N/A
---	SANITARY SEWER MANHOLE N/A
---	WATER LINE N/A
---	FIRE HYDRANT N/A
---	WATER VALVE N/A
---	WATER METER N/A
---	GAS N/A
---	GAS VALVE N/A
---	OVERHEAD ELECTRIC LINE N/A
---	UNDERGROUND ELECTRIC LINE N/A
---	UTILITY POLE N/A
---	FENCELINE N/A
---	CONTOUR LINE 500 N/A
---	TREE LINE N/A
---	DECIDUOUS TREE N/A
---	CONIFEROUS TREE N/A
---	SLOPES (15%-25%) N/A
---	SLOPES (>25%) N/A
---	SLOPE MATTING N/A
---	CONCRETE WASHOUT N/A
---	SILT SOCK / SUPER SILT (S) DENOTES NO. IN E&S CALCUS N/A
---	INLET PROTECTION N/A
---	LIMITS OF DISTURBANCE N/A

FILL MATERIALS
IF THE SITE WILL NEED TO HAVE FILL IMPORTED FROM AN OFF SITE LOCATION, THE RESPONSIBILITY FOR PERFORMING ENVIRONMENTAL DUE DILIGENCE AND THE DETERMINATION OF CLEAN FILL WILL RESIDE WITH THE OPERATOR.

THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL. FORM FP-501 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING.

CLEAN FILL: IS DEFINED AS UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREGGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE.)

ENVIRONMENTAL DUE DILIGENCE: INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANITON MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS, ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF A REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL". FILL MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED FILL. REGULATED FILL IS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH THE DEPARTMENT'S MUNICIPAL OR RESIDUAL WASTE REGULATIONS BASED ON 25 PA. CODE CHAPTERS 287 RESIDUAL WASTE MANAGEMENT OR 271 MUNICIPAL WASTE MANAGEMENT, WHICHEVER IS APPLICABLE.

E&SPC PLAN SITE REQUIREMENT NOTE:
A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. ADDITIONALLY, THE OPERATOR SHALL ASSURE THAT AN EROSION AND SEDIMENT CONTROL PLAN HAS BEEN PREPARED, AND HAS BEEN APPROVED BY THE CHESTER COUNTY CONSERVATION DISTRICT AND/OR LOCAL MUNICIPALITY IN COMPLIANCE WITH CHAPTER 102 RULES & REGULATIONS, AND IS BEING IMPLEMENTED AND MAINTAINED FOR ALL OFF SITE SOIL AND/OR ROCK SPOIL AND/OR BORROW AREAS. §102.4(5)(iv).

SOIL USE LIMITATIONS AND RESOLUTIONS:
ACID SOIL TYPES: pH LOWER THAN 5.5
THE ABOVE CHART LISTS THE TYPICAL SOIL pH. SOIL TESTS SHOULD BE TAKEN TO DETERMINE THE ACTUAL SOIL pH. A pH OF 5.5 SHOULD BE ACHIEVED. TO RESOLVE THIS LIMITATION THE SOIL pH SHOULD BE ADJUSTED BY APPLYING LIME RATES IN ACCORDANCE WITH THE PENN STATE AGRONOMY GUIDE AND THE RECOMMENDATIONS FROM A REPUTABLE LABORATORY.

WET SOIL TYPES
TO RESOLVE THIS LIMITATION VEGETATIVE SPECIES THAT ARE TOLERANT TO WET CONDITIONS SHOULD BE SELECTED FOR LANDSCAPING.

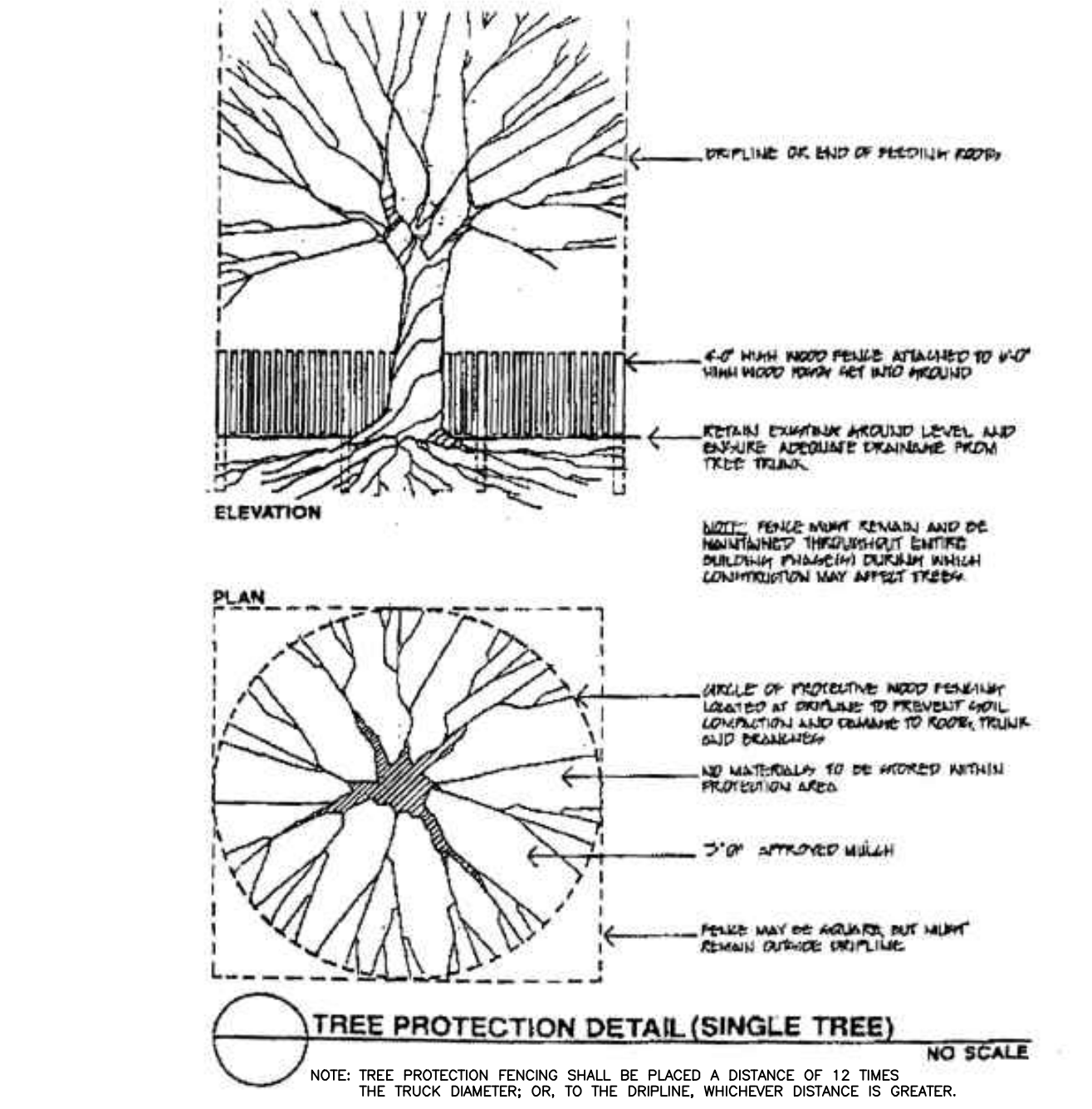
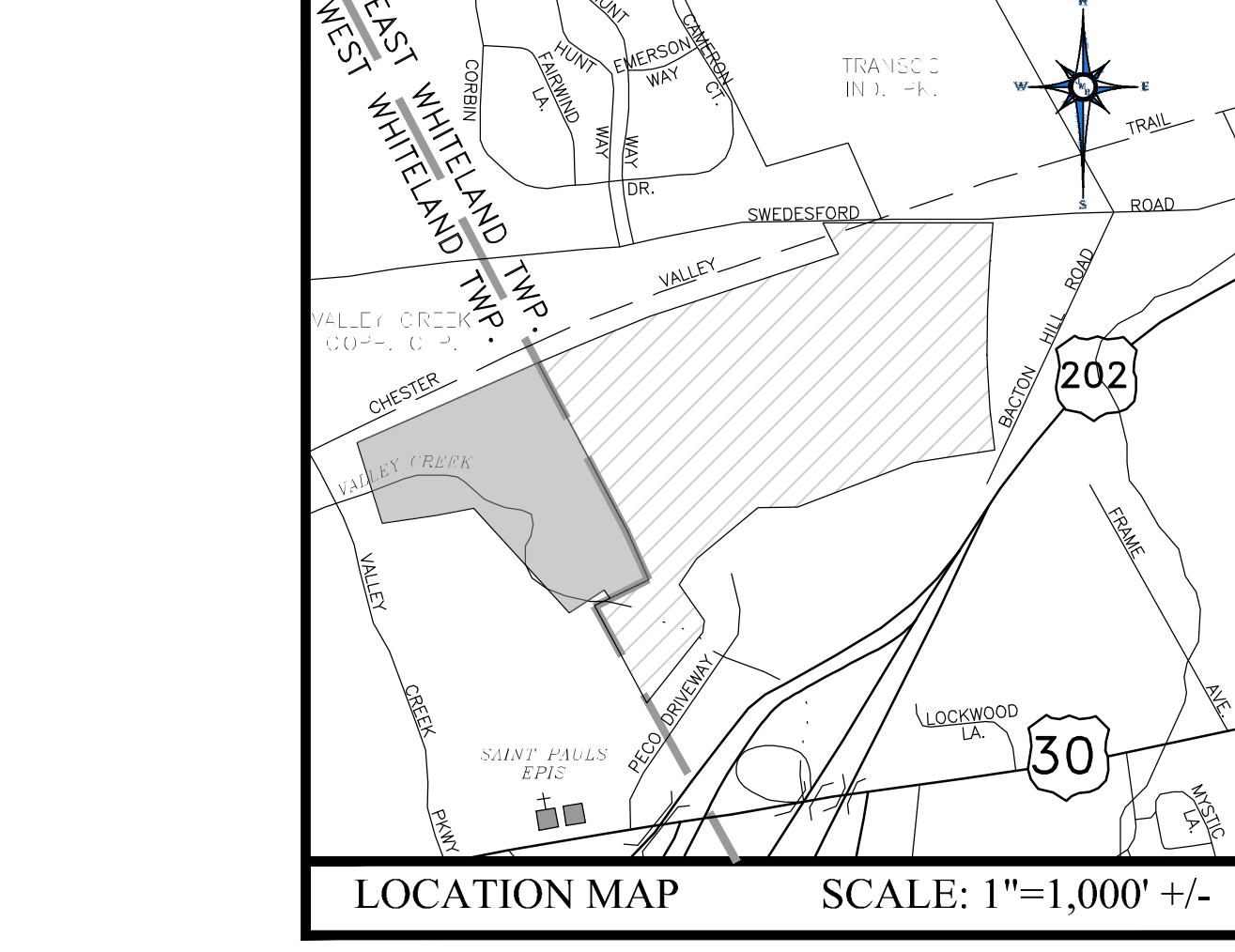
FLOOR TOPSOIL
SOIL SHOULD BE IMPORTED FROM OTHER AREAS ON SITE. THE CHESTER COUNTY CONSERVATION DISTRICT MUST APPROVE ANY DEVIATION FROM THE E&S CONSTRUCTION SEQUENCE.

SOLUTION CHANGERS/SINKHOLES
IF SOLUTION CHANGERS OR SINKHOLES APPEAR DURING CONSTRUCTION ACTIVITIES, A GEOLOGIST SHOULD BE CONTACTED FOR RECOMMENDATIONS.

WET SOIL TYPES/HIGH WATER TABLE DURING EXCAVATION ACTIVITIES
WATER TO BE PUMPED TO A DRAINING STRUCTURE.

PROOF SUSTAINABILITY FOR WATER GRADING/FROST ACTION
ADEQUATE COMPACTION OF SOIL IS REQUIRED FOR THE EMBANKMENTS, PIPE BACKFILL ROAD CONSTRUCTION AND BUILDING PADS. IF ADEQUATE COMPACTION CANNOT BE ACHIEVED DUE TO FROST ACTION OR WET SOIL TYPES, EITHER SOIL SHOULD BE IMPORTED FROM OTHER AREAS ON SITE OR CONSTRUCTION OF THESE FACILITIES SHOULD NOT BE WORKED ON DURING PERIODS PROXIMATE TO FROST. THE CHESTER COUNTY CONSERVATION DISTRICT (CDD) 925-4600 MUST APPROVE ANY DEVIATION FROM THE E&S CONSTRUCTION SEQUENCE.

PERMEABLE SOIL FOR EMBANKMENT CONSTRUCTION
SOIL SHOULD BE IMPORTED FROM OTHER AREAS ON SITE. THE CHESTER COUNTY CONSERVATION DISTRICT, MUST APPROVE ANY DEVIATION FROM THE E&S CONSTRUCTION SEQUENCE.



AS-BUILT PLAN REQUIREMENTS:
AS-BUILT PLANS OF THE STORMWATER BMPs FOR EACH PROJECT PHASE SHALL BE PROVIDED WITHIN SIX MONTHS FOLLOWING THE COMPLETION OF EACH PHASE. THE AS-BUILT PLANS SHALL BE SIGNED & SEALED BY A PA REGISTERED PROFESSIONAL ENGINEER.

NOTICE OF TERMINATION REQUIREMENTS:
A NOTICE OF TERMINATION (NOT) WILL BE REQUIRED TO BE SUBMITTED FOLLOWING APPROVAL OF THE FINAL AS-BUILT PLANS. PRIOR TO ACCEPTING THE NOT, THE DEPARTMENT AND/OR CONSERVATION DISTRICT STAFF WILL PERFORM A FINAL INSPECTION TO ENSURE SITE STABILIZATION AND VERIFY ADEQUATE INSTALLATION AND FUNCTION OF STORMWATER BMPs.

EROSION CONTROL PLAN REVISION NOTICE:
BEFORE INITIATING ANY REVISION TO THE APPROVED EROSION & SEDIMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS WHICH MAY AFFECT THE EFFECTIVENESS OF THE APPROVED E&S CONTROL PLAN, THE OPERATOR MUST RECEIVE APPROVAL OF THE REVISIONS FROM THE CHESTER COUNTY CONSERVATION DISTRICT. THE OPERATOR SHALL ASSURE THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED, IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.

UTILITY LINE TRENCH EXCAVATION NOTES:

- LIMIT ADVANCED CLEARING AND GRUBBING OPERATIONS TO A DISTANCE EQUAL TO TWO TIMES THE LENGTH OF PIPE INSTALLATION THAT CAN BE COMPLETED IN ONE DAY.
- WORK CREWS AND EQUIPMENT FOR TRENCHING, PLACEMENT OF PIPE, PLUG CONSTRUCTION AND BACKFILLING WILL BE SELF CONTAINED AND SEPARATE FROM CLEARING AND GRUBBING AND SITE RESTORATION AND STABILIZATION OPERATIONS.
- ALL SOIL EXCAVATED FROM THE TRENCH WILL BE PLACED ON THE UPHILL SIDE OF THE TRENCH.
- LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT, PLUG INSTALLATION AND BACKFILLING THAT CAN BE COMPLETED THE SAME DAY.
- WATER THAT ACCUMULATES IN THE OPEN TRENCH WILL BE COMPLETELY REMOVED BY PUMPING BEFORE PIPE PLACEMENT AND/OR BACKFILLING BEGINS. WATER REMOVED FROM THE TRENCH SHALL BE PUMPED THROUGH A FILTRATION DEVICE.
- ON THE DAY FOLLOWING PIPE PLACEMENT AND TRENCH BACKFILLING, THE DISTURBED AREA WILL BE GRADED TO FINAL CONTOURS AND IMMEDIATELY STABILIZED.

SOIL SPOIL/BORROW AREAS NOTE:
THE OPERATOR SHALL ASSURE THAT AN EROSION AND SEDIMENT CONTROL PLAN HAS BEEN PREPARED, APPROVED BY THE CHESTER COUNTY CONSERVATION DISTRICT, AND IS BEING IMPLEMENTED AND MAINTAINED FOR ALL SOIL AND/OR ROCK SPOIL AND BORROW AREAS, REGARDLESS OF THEIR LOCATIONS.

ANTICIPATED CONSTRUCTION WASTES:

- TREES SHALL BE CHIPPED AND REMOVED OFFSITE FOR USE AS MULCH.
- BUILDING MATERIALS:

 - BUILDING MATERIALS SHALL BE REMOVED, RECYCLED AND DISPOSED OF PER THE "CONSTRUCTION WASTE DISPOSAL" NOTE BELOW.
 - ROCK WASTE FROM LANDSCAPING USES SHALL BE USED ON-SITE OR AT ANOTHER FACILITY.
 - ALL ROCKS SUITABLE FOR LANDSCAPING USES SHALL BE USED ON-SITE OR AT ANOTHER FACILITY.

- SOIL & SEDIMENT WASTE:

 - ALL SPILLED SOIL SHALL BE USED ON-SITE AS FILL MATERIAL, WHERE POSSIBLE. ANY EXCESS MATERIAL NOT USED ON-SITE MAY ONLY BE DISPOSED AT A FACILITY WITH A VALID EARTH DISTURBANCE AND NPDES PERMIT APPROVED AND WHERE ALL BMPs ARE PROPERLY INSTALLED.
 - ALL SEDIMENT REMOVED DURING MAINTENANCE AND CLEANING OF EROSION AND SEDIMENTATION CONTROL DEVICES WILL BE INCORPORATED INTO THE FINE GRADING UPSTREAM FROM A SEDIMENT CONTROL DEVICE. EXCESS MATERIAL REMOVED FROM EROSION AND SEDIMENTATION CONTROL DEVICES THAT CANNOT BE INCORPORATED INTO THE FINE GRADING SHALL BE REMOVED AND MAY ONLY BE DISPOSED AT A FACILITY WITH A VALID EARTH DISTURBANCE AND NPDES PERMIT APPROVED AND WHERE ALL BMPs ARE PROPERLY INSTALLED.

CONSTRUCTION WASTE DISPOSAL NOTE:
ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1, AND 287.1 ET SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.

SITE STABILIZATION REQUIREMENTS:
UPON COMPLETION OR TEMPORARY CESSATION OF EARTH DISTURBANCE ACTIVITY THAT WILL EXCEED 4 DAYS, OR ANY STAGE THEREOF OF THE PROJECT, THE SITE SHALL BE IMMEDIATELY STABILIZED WITH THE APPROPRIATE TEMPORARY OR PERMANENT STABILIZATION MAT OR STRAW MULCH MUST BE APPLIED AT A RATE OF 3.0 TONS PER ACRE.

PUMPED WATER FILTER BAG REQUIREMENTS:
ALL PUMPING OF SEDIMENT LADEN WATER OR POTENTIALLY SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER BAG DISCHARGING OVER NON-DISTURBED AREAS.

CONSTRUCTION OVERSIGHT REQUIREMENTS:
THE PERMITTEE SHALL PROVIDE ENGINEERING CONSTRUCTION OVERSIGHT FOR THE PROPOSED STORMWATER BMPs. ADDITIONAL SOIL TESTING MAY BE REQUIRED PRIOR TO THE INSTALLATION OF INFILTRATION BMPs TO ENSURE PROPER LOCATION AND FUNCTION. A LICENSED PROFESSIONAL ENGINEER'S KNOWLEDGE AND EXPERTISE IN THE DESIGN AND CONSTRUCTION OF STORMWATER BMPs, PREFERABLY THE DESIGN ENGINEER, SHALL CONDUCT THE OVERSIGHT.

NOTE:
SEE SHEETS 7, 8 AND 13 FOR ADDITIONAL EROSION POLLUTION CONTROL NOTES AND DETAILS.

JMR ENGINEERING, LLC
PROFESSIONAL CIVIL ENGINEERING • LAND PLANNING SERVICES
106 SCHUBERT DRIVE ~ DOWNTOWN, PA 19335
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EMAIL: ADMIN@JMRENGINEERING.COM
WEBSITE: WWW.JMRENGINEERING.COM

JOHN M. ROBINSON
PROFESSIONAL ENGINEER
PENNSYLVANIA LICENSE NO. PE056271

UTILITY USERS LIST

USERS	RESPONSES
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TRAVIS EASTERN TRANSMISSION, LP	
AT&T LOCAL SERVICES	
TRANSCONTINENTAL GAS PIPELINE	
BUCKEYE PARTNERS	
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WEST WHITELAND TOWNSHIP	
COMCAST CABLE COMMUNICATIONS, INC.	
WITEL COMMUNICATIONS, LLC	
EAST WHITELAND TOWNSHIP	
LEVEL 3 COMMUNICATIONS	
PECO ENERGY	
FPL INTERSTATE ENERGY COMPANY	
SUNOCO PIPELINE, LP	

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1-800-242-1776
POCS SERIAL NUMBER:
20180261664 (WWT)
20180261665 (CWT)

PLAN REVISIONS

REV	DATE	DESCRIPTION OF CHANGES
1	03/19/24	REVISED PER WWT TOWNSHIP REVIEW COMMENTS
2	12/03/25	ADDED TREE PROTECTION FENCING
3	12/15/25	REVISED SITE LAYOUT

PROJECT: PRELIMINARY/FINAL LAND DEVELOPMENT PLAN FOR DATA CENTERS

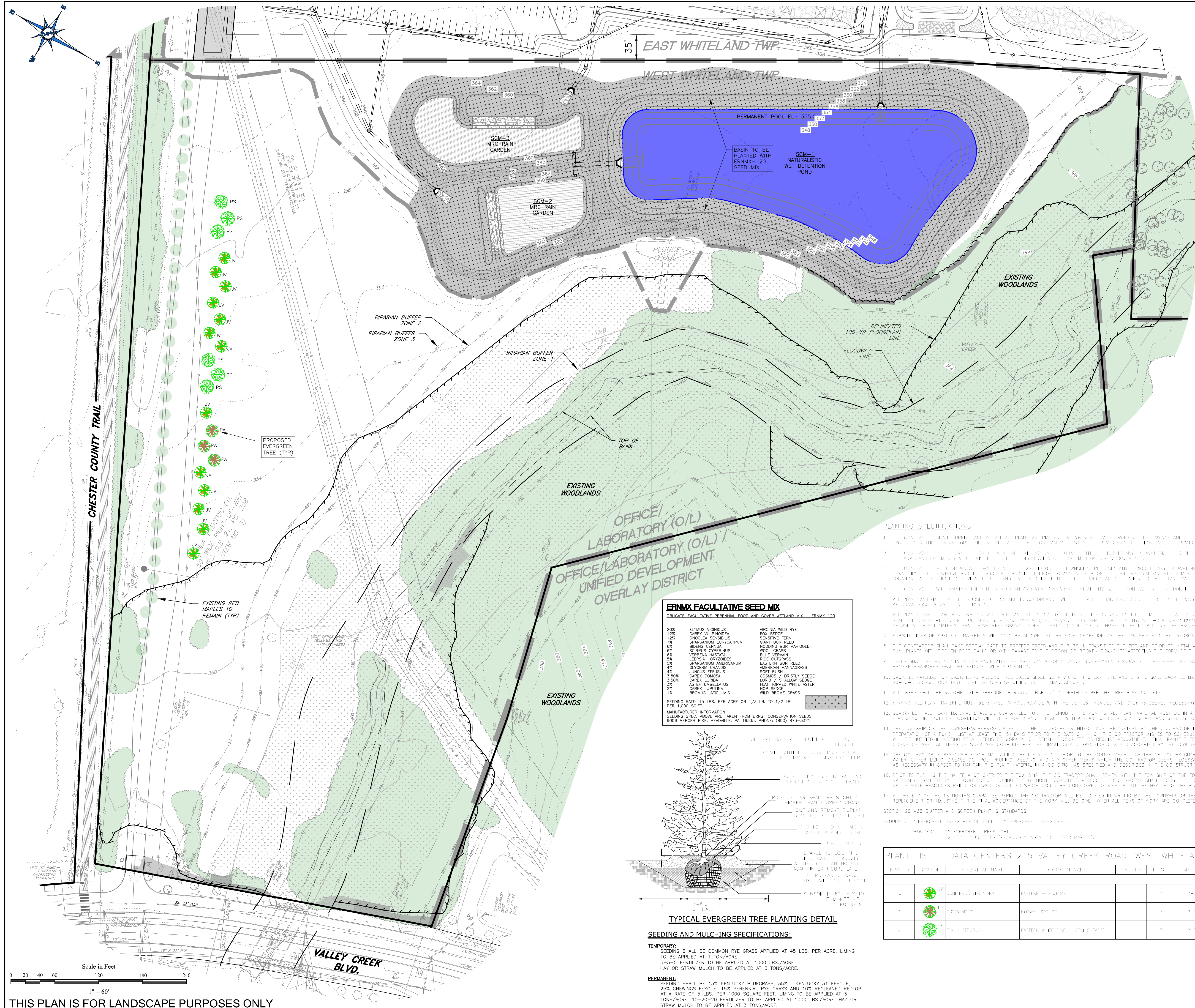
LOCATION:
215 VALLEY CREEK BLVD.
EXTON, PA 19341
WEST WHITELAND TOWNSHIP
CHESTER COUNTY, PA

PARCELS:
TAX PARCEL NUMBER: 41-3-4

CLIENT:
SENTINEL GREEN FIG, LLC
505 5TH AVE, FLOOR 27
NEW YORK, NY 10017

PROJECT No.: 1508-B
SURVEY REF.: 1195-B (DSS)
DRAWN BY: E.C.R.
CHECKED BY: J.M.R.
PLAN DATE: JANUARY 31, 2024
PLAN SCALE: 1" = 50'

SHEET TITLE:
E&S CONTROL PLAN
SHEET NUMBER:
8 OF 13
Plot Date: Sat, Dec, 13, 2025
File: 7 EROSION.DWG

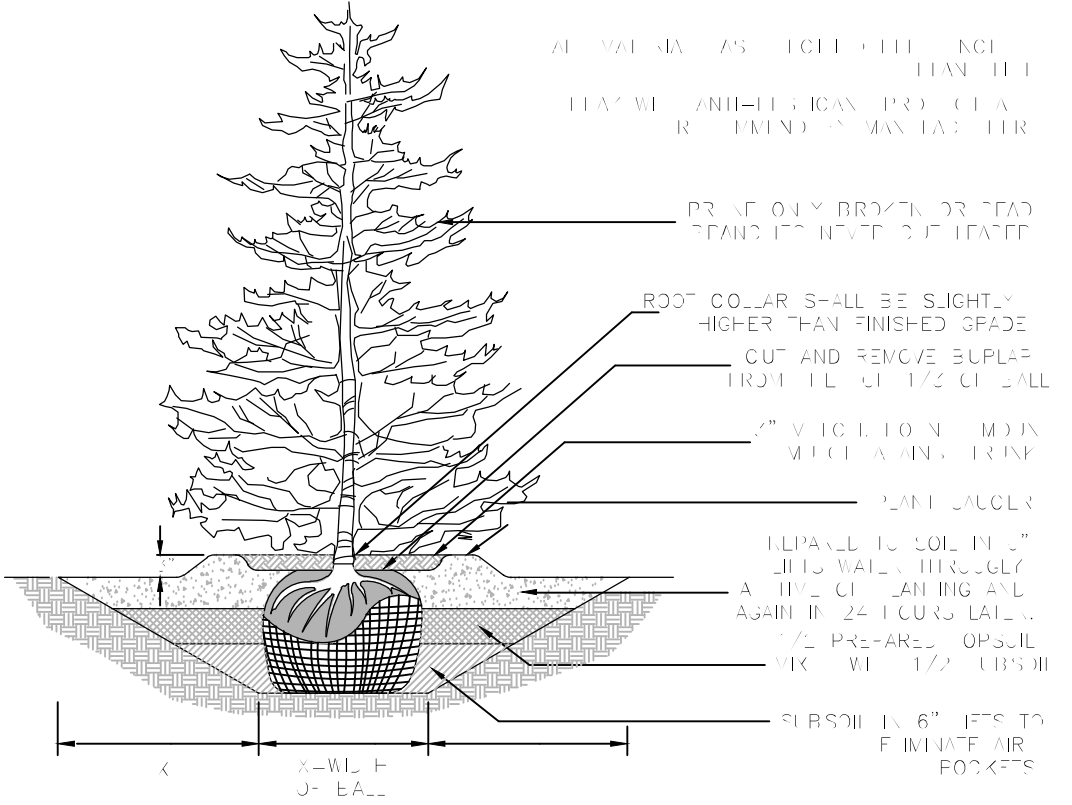


LEGEND		
EXISTING	PROPOSED	
---	PROPERTY LINE	N/A
---	ADJACENT PROPERTY LINE	N/A
o	IRON PIN	N/A
□	CONCRETE MONUMENT	N/A
---	BUILDING SETBACK LINE	N/A
---	RIGHT-OF-WAY LINE	N/A
---	FLOODPLAIN LINE	N/A
---	FLOODWAY	N/A
---	RIPARIAN BUFFER ZONE 1	N/A
---	RIPARIAN BUFFER ZONE 2	N/A
---	RIPARIAN BUFFER ZONE 3	N/A
---	ASPHALT PAVEMENT	N/A
---	CURB	N/A
---	BUILDING	N/A
N/A	CONCRETE	N/A
N/A	GRAVEL	N/A
o	SIGN	N/A
---	SANITARY SEWER LINE	N/A
N/A	SANITARY SEWER FORCE MAIN	N/A
o	SANITARY SEWER MANHOLE	N/A
---	WATER LINE	N/A
---	STORM SEWER LINE	N/A
N/A	STORM SEWER MANHOLE	o
o	FIRE HYDRANT	o
o	WATER VALVE	N/A
o	WATER METER	N/A
o	GAS LINE	N/A
o	GAS VALVE	N/A
N/A	COMMUNICATIONS LINE	N/A
o	OVERHEAD ELECTRIC LINE	N/A
o	UNDERGROUND ELECTRIC LINE	N/A
o	UTILITY POLE	N/A
o	FENCELINE	o
---	CONTOUR LINE	500
---	TREE LINE	N/A
o	DECIDUOUS TREE	N/A
o	CONIFEROUS TREE	N/A
o	SLOPES (>15%)	N/A
o	SLOPES (>25%)	N/A

ERNIX FACULTATIVE SEED MIX
OBLIGATE-FACULTATIVE PERENNIAL FOOD AND COVER WETLAND MIX - ERNIX 120

20%	Elymus virginicus	VIRGINIA WILD RYE
12%	Carex vulpinoidea	FOX SEDGE
12%	Oenochia serotens	SENSITIVE FEEN
7%	Sparganium eurycarpum	GIANT BUR REED
6%	Bidens cernua	MOODING REEF MARGOLD
6%	Scirpus cyperinus	WOOD GRASS
5%	Vetiveria zizanioides	BLUE VETIVER
5%	Leersia oryzoides	RICE CUTGRASS
5%	Sparganium americanum	EASTERN BUR REED
4%	Glyceria grandis	AMERICAN MANNAGRASS
3%	Juncus effusus	SOFT RUSH
3%	Carex comosa	COSMOS / BRISTLY SEDGE
3%	Carex lupulina	LURID / SHALLOW SEDGE
3%	Aster umbellatus	FLAT TOPPED WHITE ASTER
1%	Carex lupulina	HOP SEDGE
1%	Bromus latiglumis	WILD BROOME GRASS

SEEDING RATE: 15 LBS. PER ACRE OR 1/3 LB. TO 1/2 LB. PER 1000 SQ.FT.
MANUFACTURER INFORMATION:
SEEDING SPEC. ABOVE ARE TAKEN FROM ERNST CONSERVATION SEEDS
8006 MERCER PVE, MEADOWLE, PA 15336, PHONE: (800) 833-3321



TYPICAL EVERGREEN TREE PLANTING DETAIL

SEEDING AND MULCHING SPECIFICATIONS:

TEMPORARY:
SEEDING SHALL BE COMMON RYE GRASS APPLIED AT 45 LBS. PER ACRE. LIMING TO BE APPLIED AT 1 TON/ACRE.
5-5-5 FERTILIZER TO BE APPLIED AT 1000 LBS./ACRE.
HAY OR STRAW MULCH TO BE APPLIED AT 3 TONS/ACRE.

PERMANENT:
SEEDING SHALL BE 15% KENTUCKY BLUEGRASS, 35% KENTUCKY 31 FESCUE, 25% CHEWINGS FESCUE, 15% PERENNIAL RYE GRASS AND 10% RECLAMED REDTOP AT A RATE OF 5 LBS. PER 1000 SQUARE FEET. LIMING TO BE APPLIED AT 3 TONS/ACRE, 10-20-20 FERTILIZER TO BE APPLIED AT 1000 LBS./ACRE. HAY OR STRAW MULCH TO BE APPLIED AT 3 TONS/ACRE.

PLANTING SPECIFICATIONS

1. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING UTILITIES AND SERVICES AT ALL TIMES DURING THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL UTILITIES AND SERVICES.
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PLANT LIST - DATA CENTERS 215 VALLEY CREEK ROAD, WEST WHITELAND TOWNSHIP

NO.	SYMBOL	PLANT NAME	COMMON NAME	HEIGHT	SPACING	COMMENTS
1	o	LOBLOLLY PINE	LOBLOLLY PINE	20-25'	10' x 10'	PLANT TO BE REPLACED IF DEAD AT END OF 18 MONTH GUARANTEE PERIOD.
2	o	REDWOOD	REDWOOD	20-25'	10' x 10'	PLANT TO BE REPLACED IF DEAD AT END OF 18 MONTH GUARANTEE PERIOD.
3	o	WHITE PINE	WHITE PINE	20-25'	10' x 10'	PLANT TO BE REPLACED IF DEAD AT END OF 18 MONTH GUARANTEE PERIOD.
4	o	SPRUCE	SPRUCE	20-25'	10' x 10'	PLANT TO BE REPLACED IF DEAD AT END OF 18 MONTH GUARANTEE PERIOD.



JM ENGINEERING, LLC

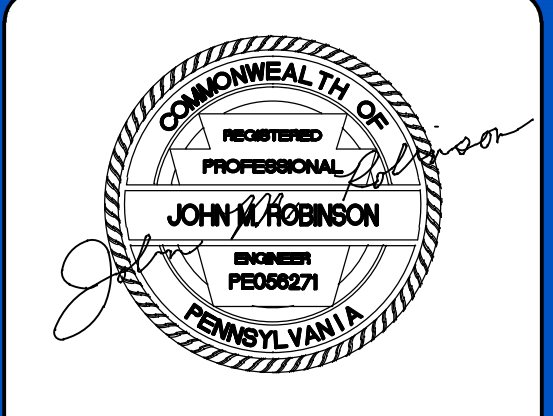
PROFESSIONAL CIVIL ENGINEERING • LAND PLANNING SERVICES

106 SCHUBERT DRIVE ~ DOWNTOWN, PA 19335

VOICE: (484) 880-7342

EMAIL: ADMIN@JMENGINEERING.COM

WEBSITE: WWW.JMENGINEERING.COM



JOHN M. ROBINSON
PROFESSIONAL ENGINEER
PENNSYLVANIA LICENSE NO. PE056271

UTILITY USERS LIST

USERS	RESPONSES
AQUA PENNSYLVANIA, INC.	
TELECOM EASTERN TRANSMISSION, LP	
AT&T LOCAL SERVICES	
TRANSCONTINENTAL GAS PIPELINE	
BUCKEYE PARTNERS	
VERIZON PENNSYLVANIA, INC.	
COMCAST CABLE	
WEST WHITELAND TOWNSHIP	
COMCAST CABLE COMMUNICATIONS, INC.	
WEST WHITELAND TOWNSHIP	
LEVEL COMMUNICATIONS, LLC	
EAST WHITELAND TOWNSHIP	
LEVEL COMMUNICATIONS	
PECO ENERGY	
PHILADELPHIA INTERSTATE ENERGY COMPANY	
SUNOCO PIPELINE, LP	

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1-800-242-1776
POCS SERIAL NUMBER:
20180261664 (WWT)
20180261665 (CW)

PLAN REVISIONS

REV.	DATE	DESCRIPTION OF CHANGES
1	03/19/24	REVISION PER WWT TOWNSHIP REVIEW COMMENTS
2	12/03/25	NO REVISION THIS SHEET
3	12/15/25	REVISED SITE LAYOUT

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN FOR DATA CENTERS

LOCATION:
215 VALLEY CREEK BLVD.
EXTON, PA 19341
WEST WHITELAND TOWNSHIP
CHESTER COUNTY, PA

TAX PARCEL NUMBER:
41-3-4

CLIENT:
SENTINEL GREEN FIG, LLC
505 5TH AVE, FLOOR 27
NEW YORK, NY 10017

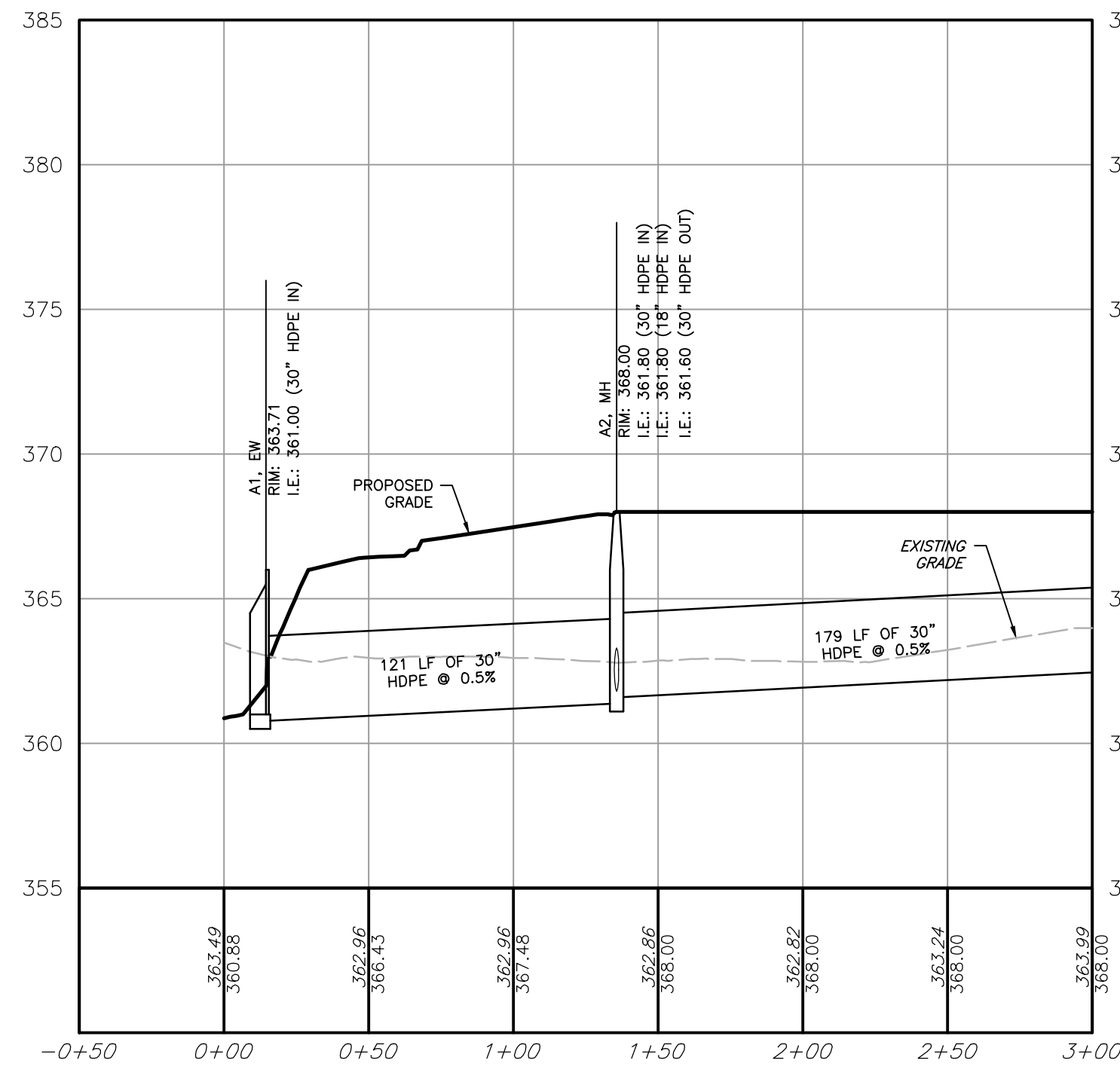
PROJECT No.: 1508-B
SURVEY REF.: 1195-B (DSS)
DRAWN BY: E.C.R.
CHECKED BY: J.M.R.
PLAN DATE: JANUARY 31, 2024
PLAN SCALE: 1" = 60'

LANDSCAPE PLAN

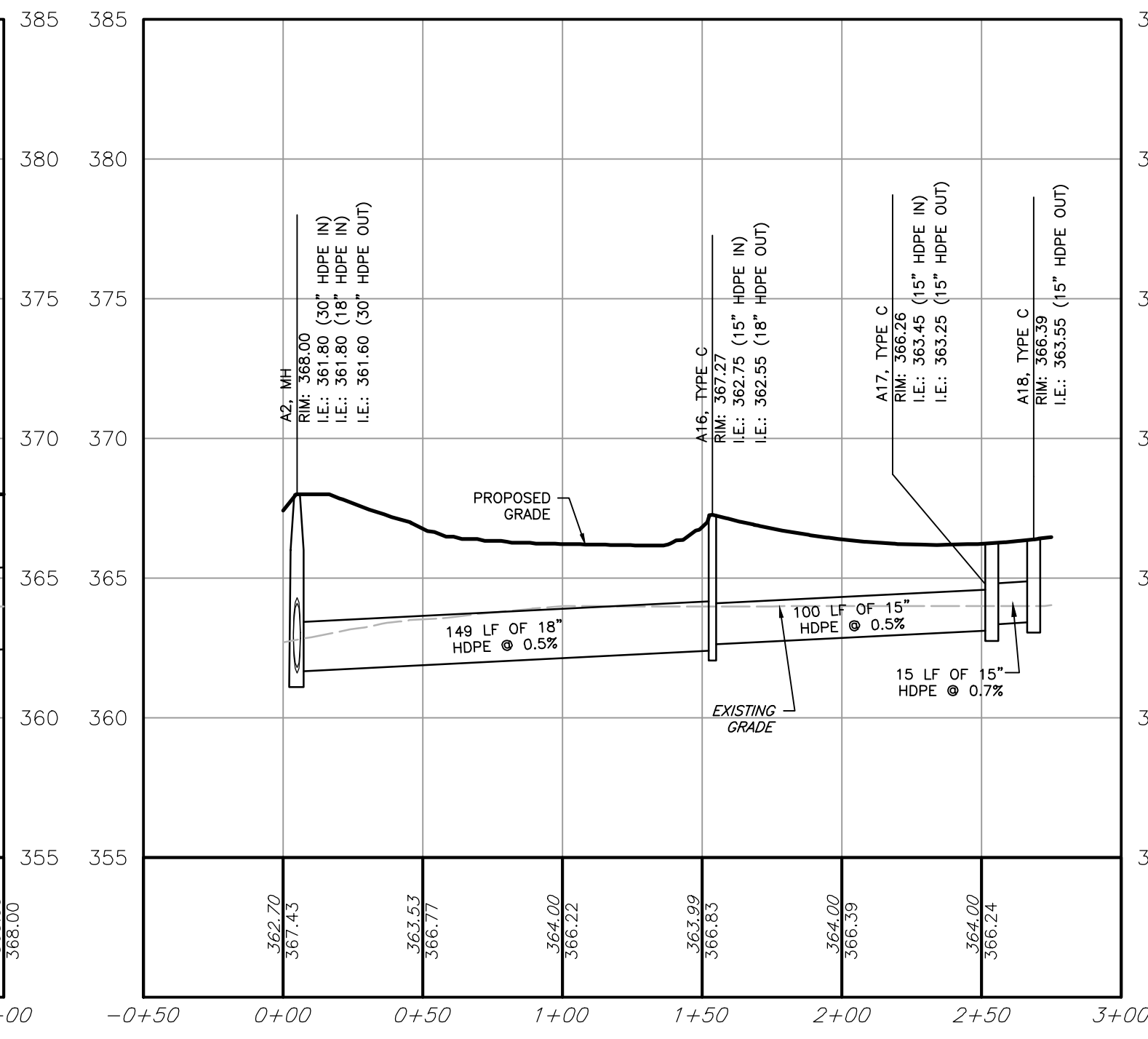
SHEET NUMBER:
9 OF 13

Plot Date: Sat, Dec. 13, 2025
File: 10.LANDSCAPE.DWG

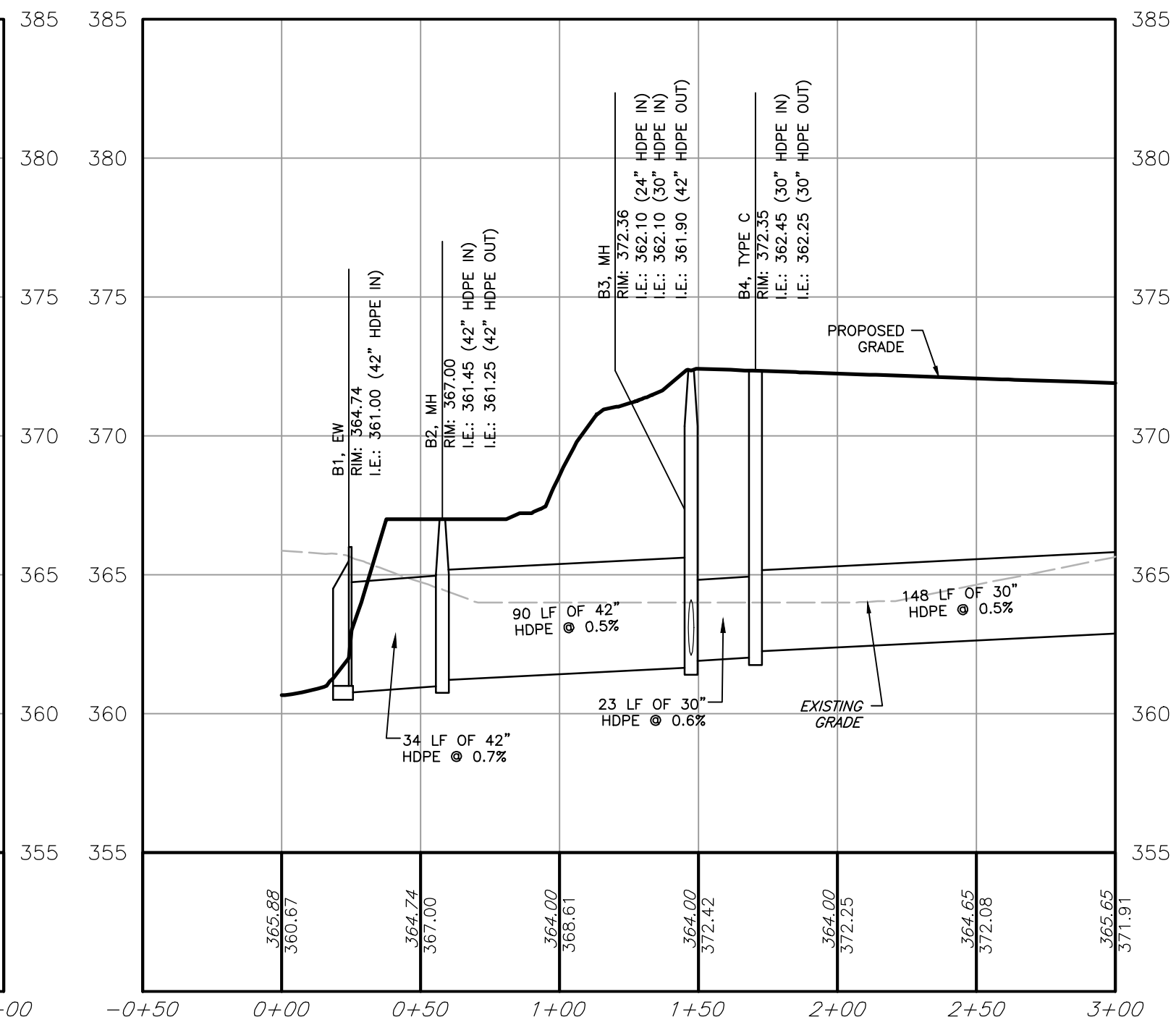
THIS PLAN IS FOR LANDSCAPE PURPOSES ONLY



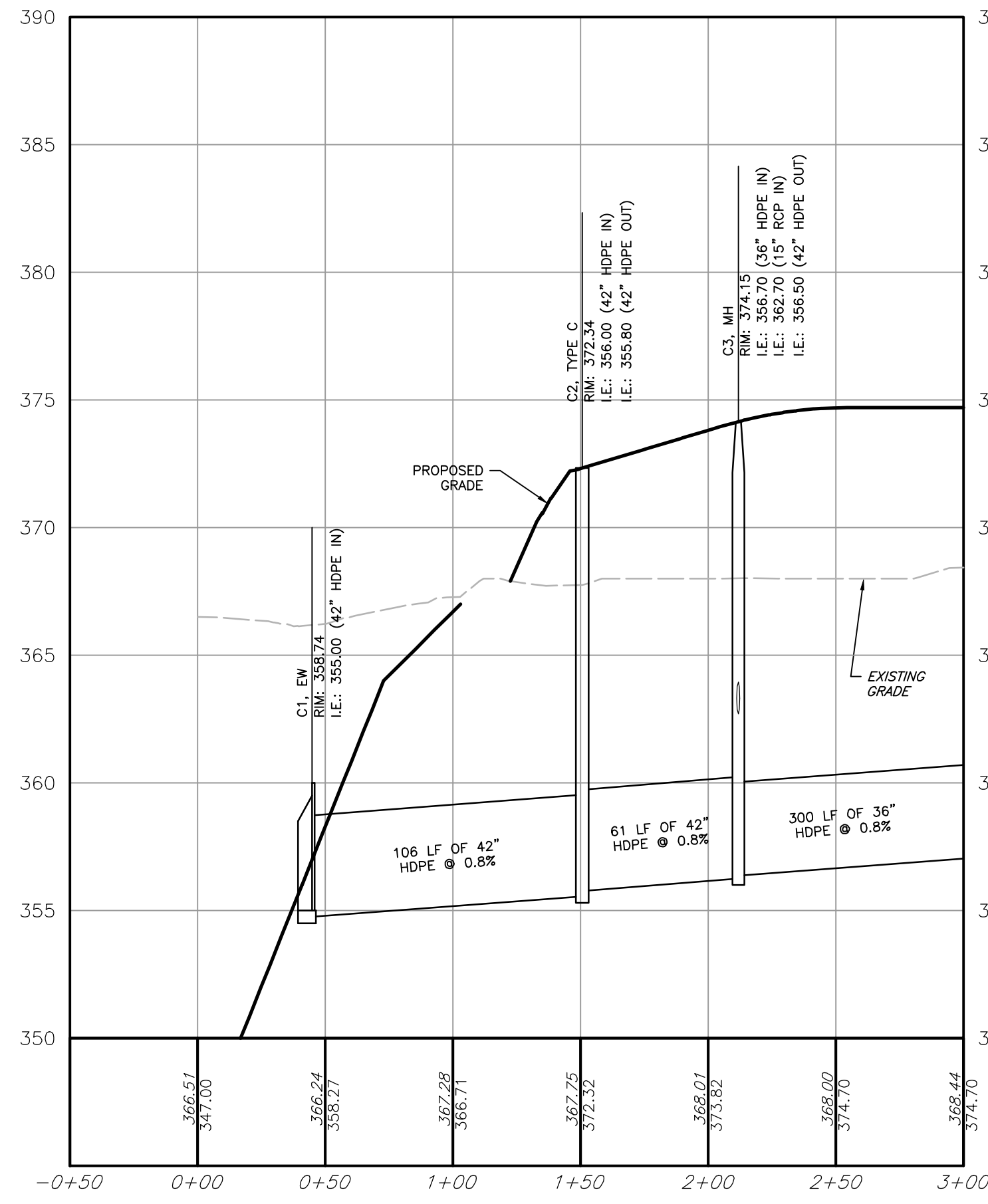
STORM A (1)
HORIZ. 1" = 50'
VERT. 1" = 5'



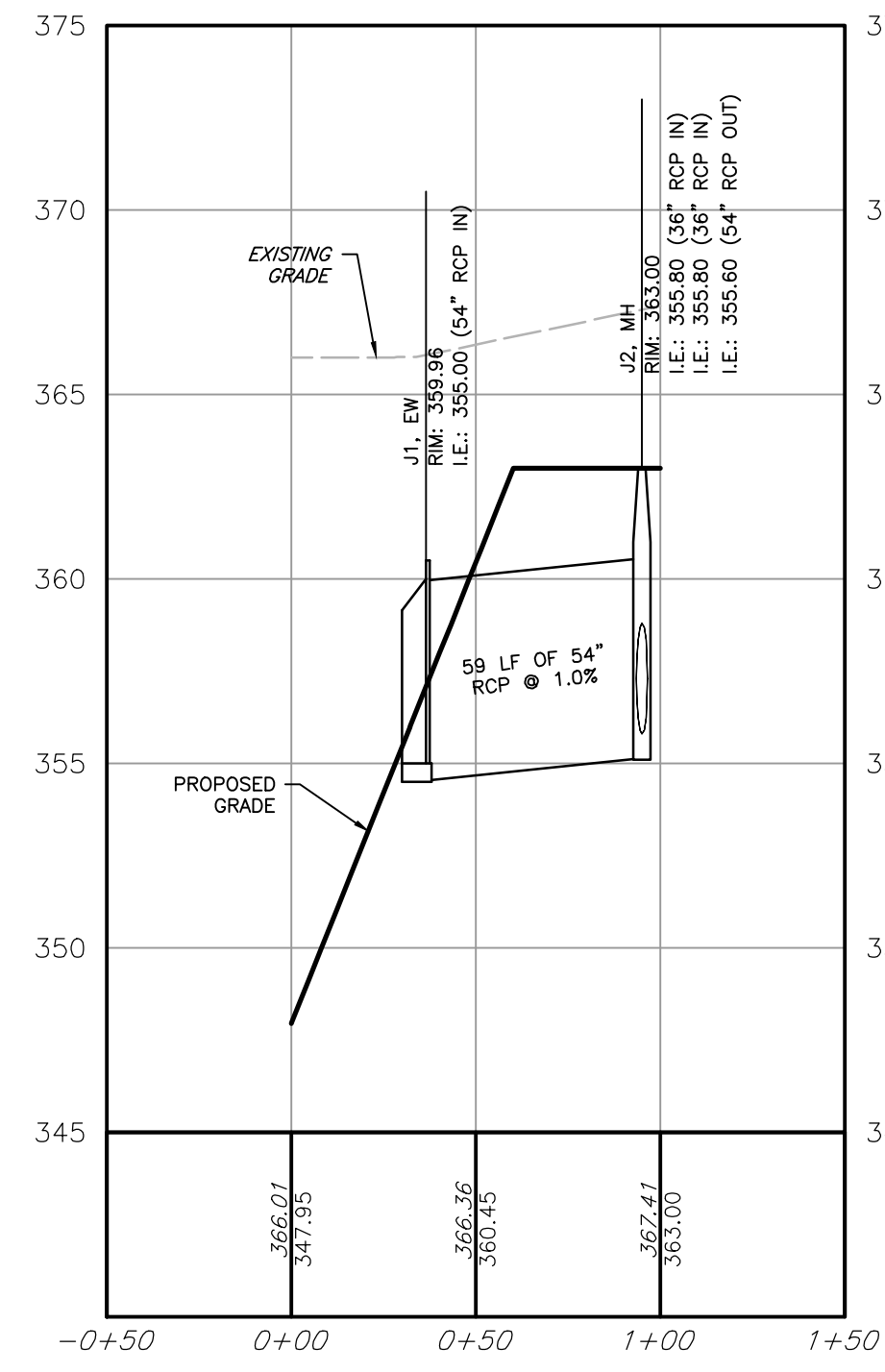
STORM A (4)
HORIZ. 1" = 50'
VERT. 1" = 5'



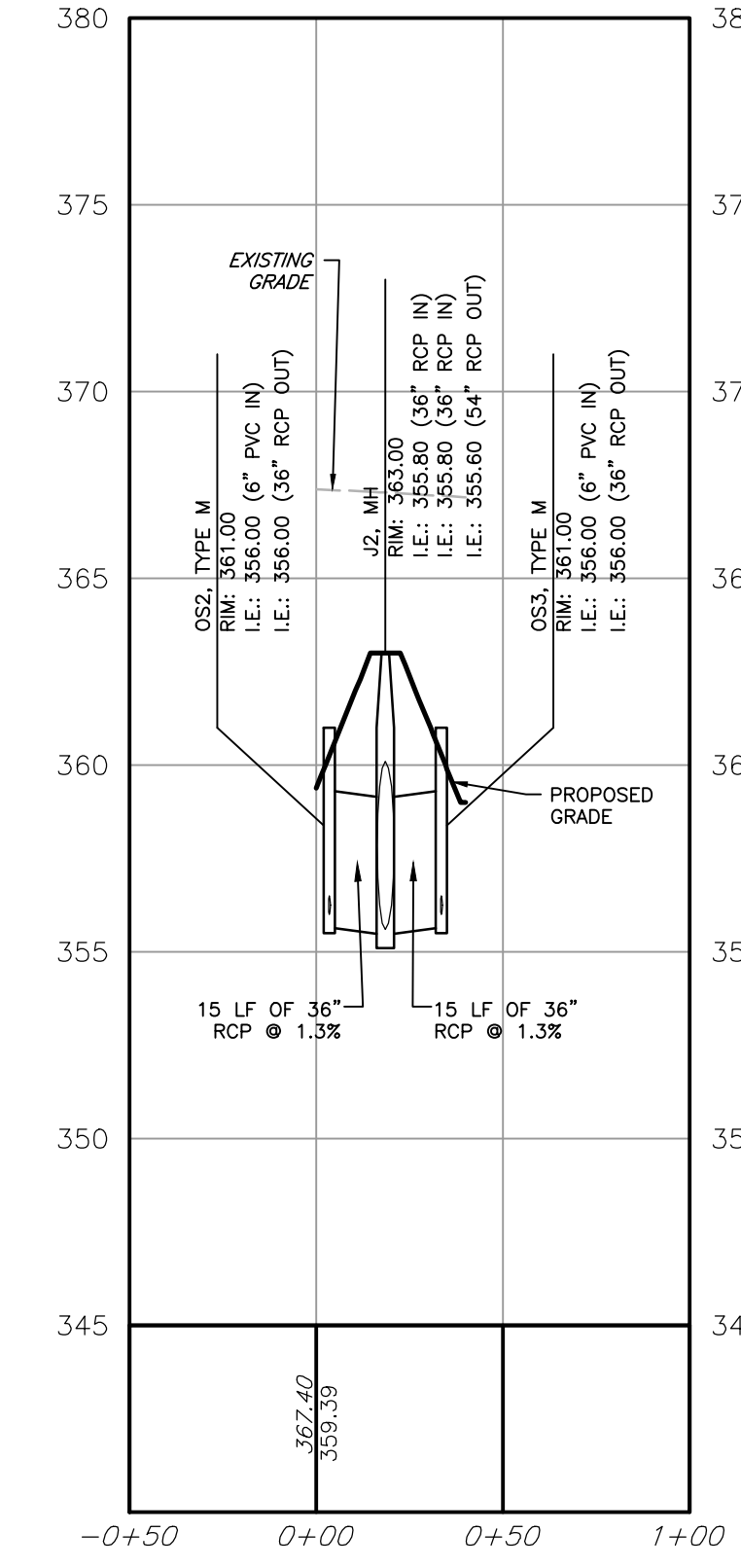
STORM B (1)
HORIZ. 1" = 50'
VERT. 1" = 5'



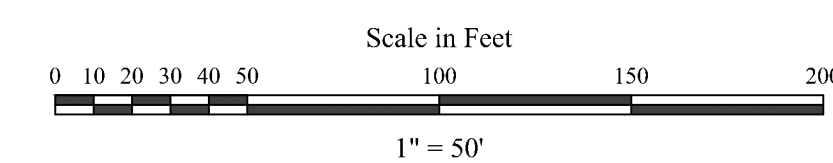
STORM C (1)
HORIZ. 1" = 50'
VERT. 1" = 5'



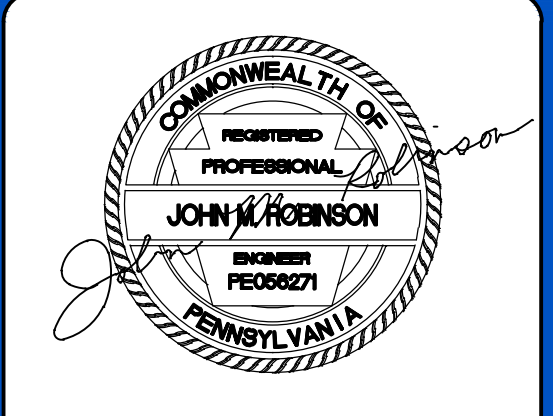
STORM J (1)
HORIZ. 1" = 50'
VERT. 1" = 5'



STORM J (2)
HORIZ. 1" = 50'
VERT. 1" = 5'



JMR ENGINEERING, LLC
 PROFESSIONAL CIVIL ENGINEERING • LAND PLANNING SERVICES
 108 SCHUBERT DRIVE ~ DOWNTOWN, PA 19333
 VOICE: (484) 880-7342
 EMAIL: ADMIN@JMRENG.COM
 WEBSITE: WWW.JMRENG.COM



JOHN M. ROBINSON
 PROFESSIONAL ENGINEER
 PENNSYLVANIA LICENSE NO. PE056271

UTILITY USERS LIST

USERS	RESPONSES
AQUA PENNSYLVANIA, INC.	
TRUCK EASTERN TRANSMISSION, LP	
AT&T LOCAL SERVICES	
TRANSCONTINENTAL GAS PIPELINE	
BUCKEYE PARTNERS	
VERIZON PENNSYLVANIA, INC.	
COMCAST CABLE	
WEST WHITELAND TOWNSHIP	
COMCAST CABLE COMMUNICATIONS, INC.	
WILET COMMUNICATIONS, LLC	
EAST WHITELAND TOWNSHIP	
LEVEL 3 COMMUNICATIONS	
PECO ENERGY	
FPL INTERSTATE ENERGY COMPANY	
SUNCO'S, INC.	
SUNOCO PIPELINE, LP	

CALL BEFORE YOU DIG!
 PROFESSIONAL LAND ENGINEER JOHN M. ROBINSON, P.E. HAS BEEN DESIGNATED AS THE PROJECT SUPERVISOR FOR THE CONSTRUCTION OF CONNECTIONS AND TAPPING UNDERGROUND UTILITY LINES BY LEAST 3 DAYS BEFORE THE COMMENCEMENT OF CONSTRUCTION. THE ENGINEERING FIRM DOES NOT GUARANTEE THE ACCURACY OF THE LOCATION OR DEPTH OF UTILITIES SHOWN ON THIS PLAN. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION WORK.
 1-800-242-1776
 POC'S SERIAL NUMBER:
 20180261664 (WWT),
 20180261665 (EWT)

PLAN REVISIONS

REV	DATE	DESCRIPTION OF CHANGES
1	03/19/24	REVISED FOR WWT TOWNSHIP REVIEW COMMENTS
2	12/03/25	NO REVISION THIS SHEET
3	12/15/25	REVISED SITE LAYOUT

PROJECT:
PRELIMINARY/FINAL LAND DEVELOPMENT PLAN FOR DATA CENTERS
 LOCATION:
 215 VALLEY CREEK BLVD.
 EXTON, PA 19341
 WEST WHITELAND TOWNSHIP
 CHESTER COUNTY, PA
 PARCELS:
TAX PARCEL NUMBER:
 41-3-4
 CLIENT:
SENTINEL GREEN FIG, LLC
 505 5TH AVE, FLOOR 27
 NEW YORK, NY 10017

PROJECT No.: 1508-B
 SURVEY REF.: 1195-B (DSS)
 DRAWN BY: E.C.R.
 CHECKED BY: J.M.R.
 PLAN DATE: JANUARY 31, 2024
 PLAN SCALE: AS SHOWN

SHEET TITLE:
PROFILES
 SHEET NUMBER:
10 OF 13
 Plot Date: Sat, Dec. 13, 2025
 File: 11 PROFILES.DWG

BMP 6.4.5 MRC RAIN GARDEN SEQUENCE OF CONSTRUCTION

1. NOTIFY THE TOWNSHIP ENGINEER, IN WRITING, A MINIMUM OF 48 HOURS PRIOR TO STARTING CONSTRUCTION OF THE PROPOSED BMP'S.
2. THE PROPOSED MRC RAIN GARDENS HAVE BEEN DESIGNED UTILIZING AN IMPERVIOUS LINER TO PREVENT WATER TRANSFER TO THE UNDERLYING KARST GEOLOGIC FORMATION; THEREFORE, THERE IS NO REQUIREMENT TO PROTECT OR PREVENT THE EXISTING SUB-GRADE FROM BEING COMPACTED OR SUBJECTED TO EXCESSIVE CONSTRUCTION EQUIPMENT TRAFFIC.
3. THE FACILITIES WILL BE INSTALLED DURING INITIAL GRADING ACTIVITIES AS SEDIMENT TRAPS AND WILL THEN BE CONVERTED TO FINAL CONDITION IN THE FINAL PHASES OF SITE CONSTRUCTION TO PREVENT SEDIMENTATION AND/OR DAMAGE FROM CONSTRUCTION ACTIVITY. AFTER THE INSTALLATION HAS BEEN COMPLETED, THE CONTRACTOR SHALL SURROUND THE BMP WITH SILT SOCK OR SILT FENCE TO PREVENT SEDIMENT ANY SEDIMENT FROM ENTERING THE SOIL MEDIA AND BMP FOOTPRINT.
4. REMOVE THE STONE BERM AND FAIRCLOTH SKIMMER DEVICE AND EXCAVATE THE SEDIMENT TRAP AREA TO THE PROPOSED MEDIA AND UNDERDRAIN ELEVATION REQUIRED BY THIS PLAN. SPECIAL CARE SHOULD BE TAKEN NOT TO PENETRATE THE IMPERMEABLE LINERS.
5. CRITICAL STAGE: INSTALL THE PROPOSED UNDERDRAIN IN ACCORDANCE WITH THE TYPICAL MRC RAIN GARDEN DETAIL. ONLY CLEAN AGGREGATE WITH DOCUMENTED POROSITY, FREE OF FINES, SHALL BE ALLOWED TO BE PLACED IN ANY BMP.
6. CRITICAL STAGE: BACKFILL THE FACILITY WITH SOIL MEDIA AS SPECIFIED ON THIS PLAN. THE PLACEMENT OF MEDIA SHALL BE COMPLETED FROM OUTSIDE THE FACILITY. THE MEDIA IN THIS FACILITY HAS BEEN DESIGNED TO ALLOW WATER TO DRAIN THROUGH IT REMOVING CONTAMINANTS; ALTHOUGH IT IS NOT A REQUIREMENT TO PREVENT THE COMPACTON OF THE SUBGRADE, THE SOIL MEDIA SHALL BE INSTALLED UTILIZING A METHOD TO PREVENT COMPACTON. AT NO TIME SHALL EQUIPMENT ENTER THE BMP FOOTPRINT ONCE MEDIA IS INSTALLED. WHEN PLACING MEDIA, AN ADDITIONAL 3" OF MATERIAL SHALL BE PLACED ABOVE DESIGN GRADE IN ORDER TO ACCOUNT FOR FUTURE SETTLEMENT.
7. AFTER INSTALLATION OF THE SOIL MEDIA, PREVENT ANY SEDIMENT FROM ENTERING THE BMP BY SURROUNDING THE BMP WITH SILT SOCK OR SILT FENCE. IMMEDIATELY STABILIZE ANY DISTURBED AREAS WITH THE SPECIFIED EROSION CONTROL BLANKETS AND PERMANENT SEED MIXTURE, MULCH AT 3 TONS/ACRE, AND LIME AS PRESCRIBED.
8. SEED BOTTOM OF RAIN GARDEN AREA WITH THE SEED MIXTURE SPECIFIED. IF THE SEED DOES NOT GERMINATE DUE TO THE WET ENVIRONMENT, THEN THE SEED SHALL BE PLACED UTILIZING DRILL SEEDING. CARE SHOULD BE TAKEN NOT TO COMPACT THE SOIL MEDIA AT ALL TIMES.
9. IN ACCORDANCE WITH §270-29(A)(7) PERMANENT GRASSES OR STABILIZATION MEASURES SHALL BE ESTABLISHED ON THE SIDES OF ALL EARTHEN BASINS BY HYDROSEEDING WITHIN 5 DAYS OF INITIAL CONSTRUCTION.

BMP 6.4.5 MRC RAIN GARDEN MAINTENANCE NOTES:

1. THE MRC (MANAGED RELEASE CONCEPT) RAIN GARDEN IS DESIGNED TO PROVIDE WATER QUALITY FOR STORM EVENTS UP TO THE 2-YR/24 HOUR STORM BY IMPOUNDING WATER AND UTILIZING SOIL MEDIA TO PROVIDE FILTERING OF STORMWATER PRIOR TO BEING DISCHARGED THROUGH A VERY SMALL ORIFICE. IT IS IMPERATIVE TO ENSURE THAT MAINTENANCE IS PERFORMED AS REQUIRED BY THIS PLAN, SO THE FACILITIES CONTINUE TO FUNCTIONING PROPERLY. THE GOAL OF THE INSPECTION AND MAINTENANCE CRITERIA IS TO ENSURE THE STORMWATER MANAGEMENT FACILITY FUNCTIONS AS INTENDED OVER ITS LIFETIME.
 - 1.1. ENSURE THAT THE OUTLET STRUCTURES/TRASH RACKS ARE FREE OF FLOATABLES AND DEBRIS THAT COULD BLOCK THE OUTFALL AND CAUSE THE BASIN TO PREMATURELY OVERFLOW.
 - 1.2. THE FACILITY SHOULD BE INSPECTED AFTER ALL STORM EVENTS TO ENSURE THE MRC ORIFICES ARE NOT CLOGGED AND FUNCTIONING PROPERLY. THE REDUCED ORIFICE SIZES ASSOCIATED WITH THE MRC CAN EASILY CLOG LEADING TO PREMATURE BASIN OVERFLOW.
 - 1.3. VERIFY THAT NO EROSION HAS OCCURRED WITHIN THE RAIN GARDEN AND RILLS SHOULD BE REPAIRED IMMEDIATELY AND STABILIZED. IF RILLS OR EROSION CONTINUES, CONTACT THE DESIGN ENGINEER.
 - 1.4. IT IS IMPORTANT TO ENSURE THAT THE PROPOSED BASIN PLANTINGS AND SHRUBS ARE MONITORED AND REPLACED AS NEEDED.
2. WHILE VEGETATION IS BEING ESTABLISHED, PRUNING AND WEEDING MAY BE REQUIRED. DETRITUS MAY ALSO NEED TO BE REMOVED EVERY YEAR. PERENNIAL PLANTINGS MAY BE CUT DOWN AT THE END OF THE GROWING SEASON.
3. CARE SHOULD BE TAKEN TO AVOID EXCESS COMPACTON BY MOWERS. MOW ONLY AS APPROPRIATE FOR VEGETATIVE SPECIES.
4. THE RAIN GARDEN AREA SHOULD BE INSPECTED AT LEAST TWO TIMES PER YEAR FOR SEDIMENT BUILDUP, EROSION, VEGETATIVE CONDITIONS AND SIGNS OF WATER CONTAMINATION. LEAF LITTER SHOULD BE REMOVED ANNUALLY.
5. AS NEEDED, REMOVE ACCUMULATED SEDIMENT AS REQUIRED TO MAINTAIN INFILTRATION THROUGHOUT THE FACILITIES SOIL MEDIA TO MAINTAIN WATER QUALITY FUNCTIONALITY. RESTORE ORIGINAL CROSS-SECTION.
6. DURING PERIODS OF EXTENDED DROUGHT, THE RAIN GARDEN AREA MAY REQUIRE WATERING.
7. THE PROPOSED FACILITIES RECEIVE A SIGNIFICANT AMOUNT OF RUNOFF FROM IMPERVIOUS SURFACES. THE MEDIA SHALL BE INSPECTED AND MONITORED AT LEAST TWO TIMES A YEAR TO ENSURE THAT THE TOP LAYER HAS NOT BEEN SILTED IN. THE TOP 12" OF MEDIA SHALL BE REMOVED AND REPLACED WITH NEW MEDIA AS NEEDED TO ENSURE THAT NO SEDIMENT BLOCKS THE SURFACE WATER FROM REACHING THE UNDERDRAIN AND MRC ORIFICE.
8. AFTER REPLACING THE MEDIA, THE TOP LAYER SHALL BE PLANTED WITH ERNMX-180 SEED MIX, AS SPECIFIED ON THIS PLAN AND SHALL BE REPLANTED IN ACCORDANCE WITH THE LANDSCAPING PLAN (BY OTHERS).

CUT-OFF TRENCH SPECIFICATION

EXCAVATE THE CUT-OFF TRENCH AS SHOWN ALONG THE LONGITUDINAL CENTERLINE OF THE BERM. THE KEY TRENCH SHALL EXTEND AT LEAST TWO FEET (2') INTO UNDISTURBED SUB-SOIL. THE CUT-OFF TRENCH SHALL EXTEND UP BOTH SIDES OF THE EMBANKMENT TO THE ELEVATIONS SPECIFIED ON THE DETAIL. THE MINIMUM BOTTOM WIDTH SHALL BE SIX FEET (6'). THE MINIMUM TOP WIDTH OF THE CORE SHALL BE FOUR FEET (4'). THE SIDE SLOPES SHALL BE NO STEEPER THAN 1H:1V. COMPACTON REQUIREMENTS SHALL BE THE SAME AS THOSE FOR EMBANKMENTS - 98% OF THE MATERIALS MAXIMUM DRY DENSITY ACCORDING TO ASTM D698, STANDARD PROCTOR. THE TRENCH SHALL BE KEPT FREE OF STANDING WATER DURING THE BACKFILLING OPERATION. THE CUT-OFF TRENCH SHALL BE CONSTRUCTED USING UNIFIED SOILS CLASSIFICATION CL-ML OR CL MATERIAL.

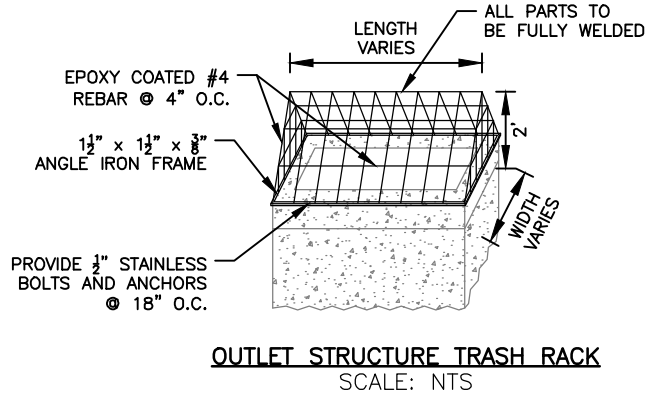
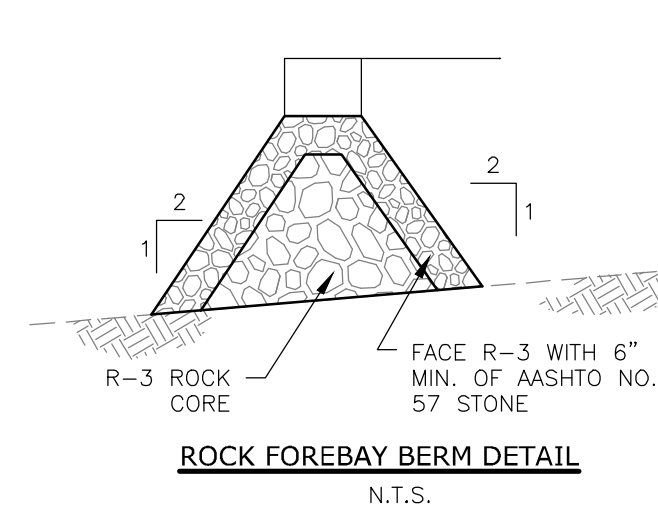
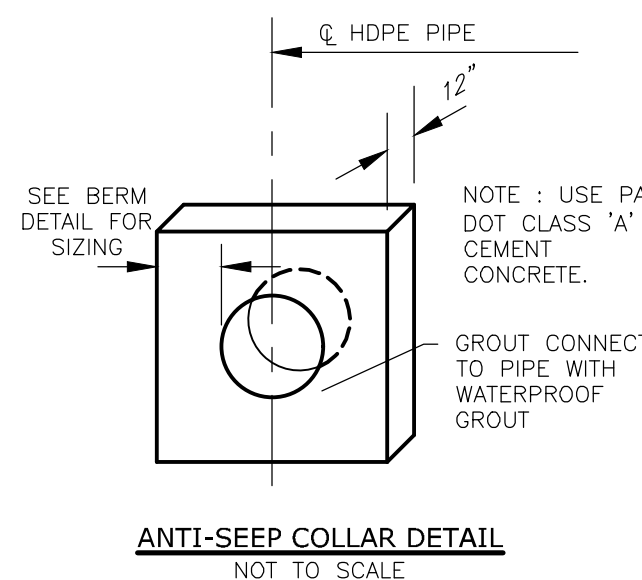
THE CONTRACTOR SHALL PROVIDE A SOIL TESTING ANALYSIS, TO THE SATISFACTION OF THE TOWNSHIP ENGINEER, TO DETERMINE IF ONSITE SOILS ARE SUITABLE FOR EMBANKMENT CONSTRUCTION. EMBANKMENT MATERIALS SHALL BE IMPORTED, IF REQUIRED.

ERNMX-180 SEED MIX FOR MRC RAIN GARDENS

- 38% River Oats, PA/VA Ecotype blend (*Chasmodanthum latifolium* (Uniola latifolia), PA/VA Ecotype blend)
- 20% Virginia Wildrye, PA Ecotype (*Elymus virginicus*, PA Ecotype)
- 10% Fox Sedge, PA Ecotype (*Carex vulpinoidea*, PA Ecotype)
- 4% Purple Coneflower (*Echinacea purpurea*)
- 3% Tall White Beardtongue, PA Ecotype (*Pentstemon digitalis*, PA Ecotype)
- 3% Blackeyed Susan, Coastal Plain NC Ecotype (*Rutbeckia hirta*, Coastal Plain NC Ecotype)
- 3% Lanceleaf Coreopsis, Coastal Plain NC Ecotype (*Coreopsis lanceolata*, Coastal Plain NC Ecotype)
- 2% Ohio Spiderwort, PA Ecotype (*Tradescantia ohiensis*, PA Ecotype)
- 2% Oweya Sunflower, PA Ecotype (*Helipopsis helianthoides*, PA Ecotype)
- 2% Autumn Bergamot, PA Ecotype (*Ageratum perennans*, PA Ecotype)
- 2% Portulaca Pea, PA Ecotype (*Chamaecrista fasciculata* (Cassia f.), PA Ecotype)
- 2% Marsh (Common) Gayfeather, PA Ecotype (*Liatris scariosa*, NY Ecotype)
- 1.5% Smooth Blue Aster, NY Ecotype (*Aster laevis* (Symphyotrichum laevis), NY Ecotype)
- 1% Wild Senna, VA & WV Ecotype (*Senna hebecarpa* (Cassia h.), VA & WV Ecotype)
- 1% New England Aster, PA Ecotype (*Aster novae-angliae* (Symphyotrichum n.), PA Ecotype)
- 1% Swamp Milkweed, PA Ecotype (*Asclepias incarnata*, PA Ecotype)
- 1% Path Rush, PA Ecotype (*Juncus tenuis*, PA Ecotype)
- 1% Soft Rush (*Juncus effusus*)
- 0.5% Wild Bergamot, Fort Indiantown Gap-PA Ecotype (*Monarda fistulosa*, Fort Indiantown Gap-PA Ecotype)
- 0.5% Mistleflower, VA Ecotype (*Eupatorium coelestinum* (Conoclinium c.), VA Ecotype)
- 0.5% Blue Foliage Indigo, Southern WV Ecotype (*Baptisia australis*, Southern WV Ecotype)
- 0.5% Early Goldenrod, VA Ecotype (*Solidago juncea*, VA Ecotype)
- 0.2% Slender Mountainmint (*Pycnanthemum tenuifolium*)

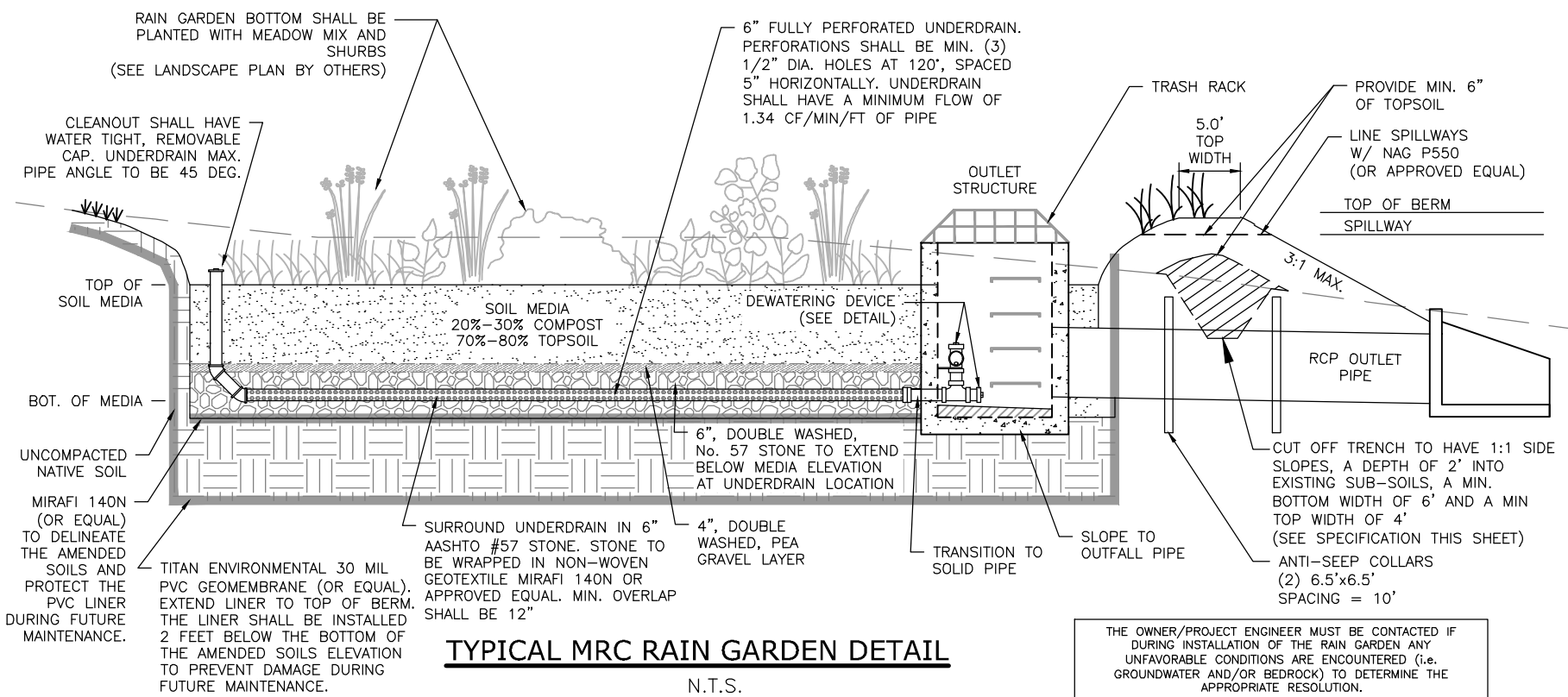
SEED MIX APPLICATION RATE: 20 BULK LBS/ACRE OR 1/2 LB PER 1,000 SF WITH A COVER CROP OF GRAIN RYE AT 30 BULK LBS/ACRE
 SEED MIX AVAILABILITY: ERNST CONSERVATION SEEDS
 8884 MERCER PIKE, MEADVILLE, PA 16335
 PHONE: (814) 336-2404

REINFORCED CONCRETE WITH WATERTIGHT JOINTS ARE TO BE USED FOR ALL PRINCIPAL OUTLET STRUCTURES



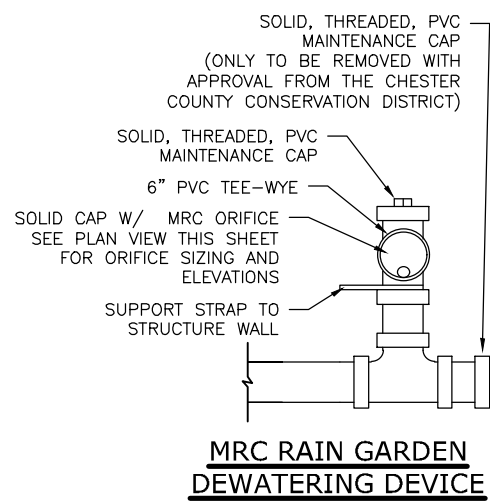
- NOTES:**
1. PROVIDE HINGED LOCKING ACCESS OPENING (36" SQUARE MIN.) FOR MAINTENANCE.
 2. PROVIDE STEPS WITHIN OUTLET STRUCTURES.
 3. CONTRACTOR SHALL PROVIDE BUOYANCY CALCULATIONS FOR ALL OUTLET STRUCTURES.
 4. ALL WELDS TO BE REPAINTED WITH CORROSION RESISTANT PAINT (COLOR TO MATCH REBAR)

NOTE:
SEE SHEET NUMBERS 5, 6, 11 & 12 FOR PCSM PLAN NOTES, DETAILS AND OPERATION & MAINTENANCE PROCEDURES.



MANAGED RELEASE CONCEPT DESIGN DATA

STORMWATER ID	SOIL MEDIA AREA (S.F.)	AMENDED SOIL ELEVATION TOP	SOIL ELEVATION BOTTOM	TOP OF BERM	SPILLWAY ELEV.	UNDERDRAIN ELEV.	MRC ORIFICE DIA. (IN)	MRC ORIFICE DIA. (IN)	MRC OUTLET SUMP DEPTH	TYPE M OVERFLOW EL.	1.2"/2-HR WSE	2-YR/24-HR WSE	100-YR/24 HR WSE
SCM-2	8,500	359.00	356.00	363.00	362.00	356.00	357.00	1.1"	18" MIN.	361.00	360.62	361.48	362.35
SCM-3	10,850	359.00	356.00	363.00	362.00	356.00	357.00	1.1"	18" MIN.	361.00	359.92	361.13	362.28



EMERGENCY SPILLWAYS

(NOT TO SCALE)

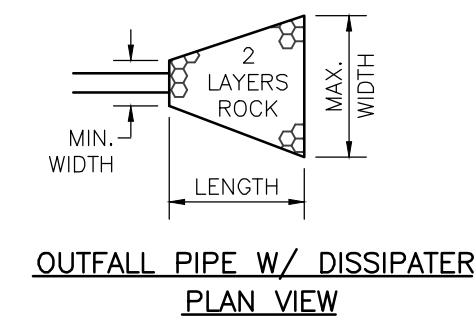
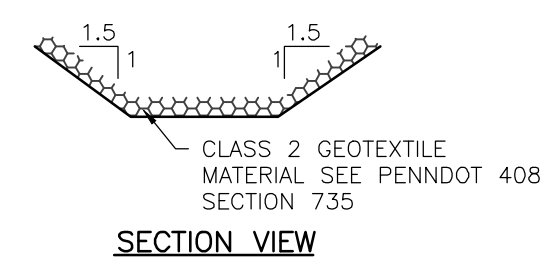
STORMWATER ID	SPILLWAY LENGTH (FEET)	SPILLWAY ELEV. (FEET)
SCM-2	42.0	362.00
SCM-3	42.0	362.00

NOTES:

1. THE MRC ORIFICE SHOULD BE CLEAN SMOOTH AND SANDED SO THAT NO BURRS OR IRREGULARITIES ARE PRESENT.
2. THE MRC ORIFICE PLATE AND OTHER CONNECTIONS SHOULD BE WATER-TIGHT AND ACCESSIBLE FOR MAINTENANCE.
3. CONTROL VALVES CANNOT BE SUBSTITUTED FOR AN ORIFICE.

SOIL MEDIA GENERAL NOTES AND SPECIFICATIONS:

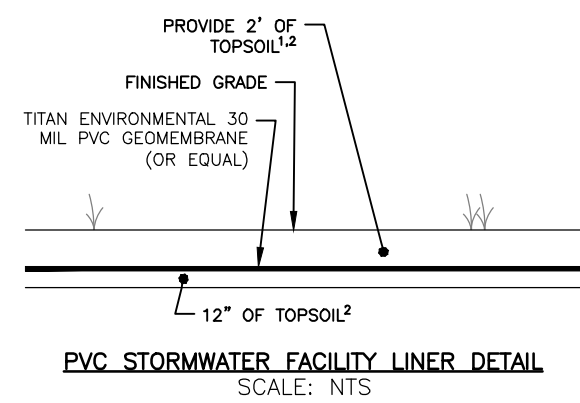
1. THE SOIL MEDIA SHOULD MEET ALL THE SPECIFICATIONS LISTED BELOW AND SHOULD BE A FERTILE, NATURAL SOIL, FREE FROM LARGE STONES, ROOTS, STICKS, CLOUDS, PLANTS, PEAT, SOIL, POCKETS OF COURSE SAND, PAVEMENT AND BUILDING DEBRIS, GLASS, NOXIOUS WEEDS INCLUDING INVASIVE SPECIES, INFESTATIONS OF UNDESIRABLE ORGANISMS AND DISEASE CAUSING PATHOGENS, AND OTHER EXTRANEOUS MATERIALS HARMFUL TO PLANT GROWTH.
2. THE TEXTURE OF THE PLANTING SOIL SHOULD CONFORM TO THE CLASSIFICATIONS WITHIN THE UNITED STATES DEPARTMENT OF AGRICULTURE TRIANGLE FOR SANDY LOAM OR LOAMY SAND. PLANTING SOIL SHOULD BE A MIXTURE OF SAND, SILT, AND CLAY PARTICLES AS REQUIRED TO MEET THE CLASSIFICATION. RANGES OF PARTICLE SIZE DISTRIBUTION, AS DETERMINED BY PIPETTE METHOD IN COMPLIANCE WITH ASTM F-1632, ARE AS FOLLOWS (BY VOLUME):
 - 2.1. SAND (0.05 TO 2.0 MM): 50-85%
 - 2.2. SILT (0.002 TO 0.05 MM): 40% MAXIMUM
 - 2.3. CLAY (<0.002 MM): 10% MAXIMUM
3. GRAVEL (2.0 TO 12.7 MM: 15% MAXIMUM
3. PLANTING SOIL SHOULD BE SCREENED AND FREE OF STONES LARGER THAN A HALF-INCH (12.7 MM). NO MORE THAN 10% OF THE SOIL BY VOLUME.
4. CLOUDS, OR NATURAL CLUMPS OF SOIL, GREATER THAN THREE INCHES SHOULD BE ABSENT FROM THE SOIL MEDIA. SMALL CLOUDS RANGING FROM 1" TO 3" AND PEDS, NATURAL SOIL CLUMPS UNDER 1", MAY BE PRESENT BUT SHOULD NOT MAKE UP MORE THAN 10% OF THE SOIL BY VOLUME.
5. THE PH OF THE MEDIA SHOULD HAVE A RANGE OF 5.8-7.1.
6. SOLUBLE SALTS SHOULD BE LESS THAN 2.0 MMHOS/CM (DS/M), TYPICALLY AS MEASURE BY 1:2 SOIL-WATER RATIO BASIN SOIL SALINITY TESTING. SODIC SOILS (EXCHANGABLE SODIUM PERCENTAGE GREATER THAN 15 AND/OR SODIUM ABSORPTION RATION GREATER THAN 13 ARE NOT ACCEPTABLE FOR USE REGARDLESS OF AMENDMENT.
7. ORGANIC CONTENT OF THE SOILS SHOULD HAVE A RANGE OF 3% TO 15% BY WEIGHT, AS DETERMINED BY LOSS ON IGNITION (ASTM D2974). TO ADJUST ORGANIC CONTENT, PLANTING SOIL MAY BE AMENDED, PRIOR TO PLACING AND FINAL GRADING, WITH THE ADDITION OF ORGANIC COMPOST.
8. NATIVE GRASS SEEDS MIX MUST BE FREE OF WEED SEEDS.



ROCK ENERGY DISSIPATER DETAIL

NOT TO SCALE

STRUCTURE	DESIGN STORM	FLOW RATE (CFS)	PIPE DIAMETER (IN)	LOG (FT)	START WIDTH (FT)	END WIDTH (FT)	THICKNESS (IN)	RIPRAP SIZE
A1	FULL FLOW	35.0	30					
B1	FULL FLOW	95.0	42					
C1	FULL FLOW	95.0	42					
J1	FULL FLOW	215.0	54					



NOTES:

1. LINERS SHALL HAVE THE SAME CLEARANCE FROM THE BOTTOM OF AMENDED SOILS IN THE RAIN GARDENS TO PREVENT RIPS OR TEARS IN THE LINER DURING FUTURE MAINTENANCE OF THE AMENDED SOILS. THE BOTTOM OF AMENDED SOILS SHALL BE DELINEATED WITH GEOTEXTILE FABRIC, AS SPECIFIED ON THIS PLAN.
2. TOPSOIL SHALL BE FREE OF ROCKS AND STONES GREATER THAN 2" IN SIZE. THE SOIL SHALL BE FREE OF STICKS, SHARP OBJECTS, OR DEBRIS OF ANY KIND.
3. THE LINER MAY BE PLACED ON THE EXISTING SUBGRADE IF THE EXISTING SUBGRADE MEETS THE REQUIREMENTS OF ITEM 2, ABOVE.
4. PVC LINER SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
5. SUBGRADE SHALL BE FIRM, UNIFORM AND UNWELED.
6. CONTRACTORS WITH LESS THAN 500,000 S.F. OF LINER INSTALLATION EXPERIENCE SHALL BE REQUIRED TO HAVE A PRE-CONSTRUCTION DISCUSSION WITH THE MANUFACTURER TO ENSURE PROPER INSTALLATION PROCEDURES ARE FOLLOWED.
7. INSTALLATION OF THE LINERS SHALL BE INSPECTED BY A LICENSED ENGINEER IN THE STATE OF PENNSYLVANIA FAMILIAR WITH THE CONSTRUCTION METHODS ASSOCIATED WITH THE INSTALLATION OF AN IMPERMEABLE PVC LINER.
8. THE LINERS MUST EXTEND UP TO THE EMERGENCY SPILLWAY ELEVATION.

TE-PVC 30

TESTED PROPERTY	TEST METHOD	IMP. SPECIFICATION	VALUE ENGLISH METRIC
Thickness	ASTM D 1505	40 mil (1.02 mm)	40 mil (1.02 mm)
Water Permeability	ASTM D 1505	≤ 1000 g/m²/24 hr	≤ 1000 g/m²/24 hr
Strength at Break	ASTM D 1505	≥ 1000 psi (6.89 MPa)	≥ 1000 psi (6.89 MPa)
Modulus at Break	ASTM D 1505	≥ 1000 psi (6.89 MPa)	≥ 1000 psi (6.89 MPa)
Modulus at Yield	ASTM D 1505	≥ 1000 psi (6.89 MPa)	≥ 1000 psi (6.89 MPa)
Modulus at 100% Elongation	ASTM D 1505	≥ 1000 psi (6.89 MPa)	≥ 1000 psi (6.89 MPa)
Modulus at 200% Elongation	ASTM D 1505	≥ 1000 psi (6.89 MPa)	≥ 1000 psi (6.89 MPa)
Modulus at 300% Elongation	ASTM D 1505	≥ 1000 psi (6.89 MPa)	≥ 1000 psi (6.89 MPa)
Modulus at 400% Elongation	ASTM D 1505	≥ 1000 psi (6.89 MPa)	≥ 1000 psi (6.89 MPa)
Modulus at 500% Elongation	ASTM D 1505	≥ 1000 psi (6.89 MPa)	≥ 1000 psi (6.89 MPa)
Modulus at 600% Elongation	ASTM D 1505	≥ 1000 psi (6.89 MPa)	≥ 1000 psi (6.89 MPa)
Modulus at 700% Elongation	ASTM D 1505	≥ 1000 psi (6.89 MPa)	≥ 1000 psi (6.89 MPa)
Modulus at 800% Elongation	ASTM D 1505	≥ 1000 psi (6.89 MPa)	≥ 1000 psi (6.89 MPa)
Modulus at 900% Elongation	ASTM D 1505	≥ 1000 psi (6.89 MPa)	≥ 1000 psi (6.89 MPa)
Modulus at 1000% Elongation	ASTM D 1505	≥ 1000 psi (6.89 MPa)	≥ 1000 psi (6.89 MPa)

IMPERVIOUS PVC LINER DETAIL

J.M.R. ENGINEERING, LLC

PROFESSIONAL CIVIL ENGINEERING • LAND PLANNING SERVICES

108 SCHUBERT DRIVE ~ DOWNTOWN, PA 19335

VOICE: (484) 880-7342

EMAIL: ADMIN@JMRENGINEERING.COM

WEBSITE: WWW.JMRENGINEERING.COM

THIS OFFICE IS A REPRESENTATIVE OF THE PROFESSION OF ENGINEERS AND ARCHITECTS IN THE STATE OF PENNSYLVANIA. THE ENGINEER OR ARCHITECT HAS NOT BEEN LICENSED IN ANY OTHER STATE. THE ENGINEER OR ARCHITECT HAS NOT BEEN LICENSED IN ANY OTHER STATE. THE ENGINEER OR ARCHITECT HAS NOT BEEN LICENSED IN ANY OTHER STATE.

COMMONWEALTH OF PENNSYLVANIA

REGISTERED PROFESSIONAL ENGINEER

JOHN M. ROBINSON

ENGINEER PE000671

PENNSYLVANIA

JOHN M. ROBINSON
PROFESSIONAL ENGINEER
PENNSYLVANIA LICENSE NO. PE056271

UTILITY USERS LIST

USERS	RESPONSES
AQUA PENNSYLVANIA, INC. TOWNSHIP EASTERN TRANSMISSION, LP AT&T LOCAL SERVICES TRANSCONTINENTAL GAS PEXLINE BUCKEYE PARTNERS UNION PENNSYLVANIA, INC. COMCAST CABLE WEST WHITELAND TOWNSHIP LEVEL 3 COMMUNICATIONS, INC. WEST WHITELAND TOWNSHIP LEVEL 3 COMMUNICATIONS PECO ENERGY PHI, INTERSTATE ENERGY COMPANY SUNOCO PIPELINE, LP	

CALL BEFORE YOU DIG!

PROFESSIONAL LAND DEVELOPMENT ENGINEER HAS REVIEWED THE CONSTRUCTION OF THIS PROJECT AND HAS DETERMINED THAT THE CONSTRUCTION OF THIS PROJECT WILL NOT BE AFFECTED BY THE PRESENCE OF UTILITIES. THE ENGINEER HAS REVIEWED THE CONSTRUCTION OF THIS PROJECT AND HAS DETERMINED THAT THE CONSTRUCTION OF THIS PROJECT WILL NOT BE AFFECTED BY THE PRESENCE OF UTILITIES.

1-800-242-1776
POCS SERIAL NUMBER:
20180261664 (WWT),
20180261665 (EWT)

PLAN REVISIONS

REV. DATE	DESCRIPTION OF CHANGES
03/19/24	REVISION PER WWT TOWNSHIP REVIEW COMMENTS
12/03/25	NO REVISION THIS SHEET
12/15/25	REVISED SITE LAYOUT

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN FOR DATA CENTERS

LOCATION:
215 VALLEY CREEK BLVD.
EXTON, PA 19341

WEST WHITELAND TOWNSHIP
CHESTER COUNTY, PA

PARCELS:
TAX PARCEL NUMBER:
41-3-4

CLIENT:
SENTINEL GREEN FIG, LLC
505 5TH AVE, FLOOR 27
NEW YORK, NY 10017

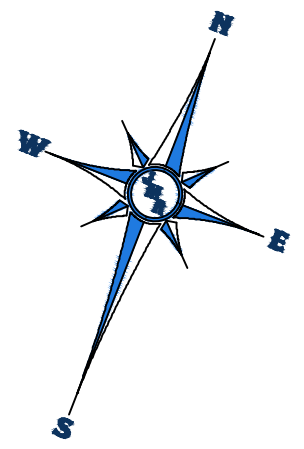
PROJECT No.: 1508-B
SURVEY REF.: 1195-B (DSS)
DRAWN BY: E.C.R.
CHECKED BY: J.M.R.
PLAN DATE: JANUARY 31, 2024
PLAN SCALE: AS SHOWN

SHEET TITLE:

PCSM DETAILS

SHEET NUMBER:
11 OF 13

Plot Date: Sat, Dec, 13, 2025
File: 14 PCSM DETAILS.DWG



PERFORMANCE AND INSPECTION OF REGULATED ACTIVITIES

- ALL REGULATED ACTIVITIES SHALL BE CONDUCTED, OPERATED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH IN ARTICLES III, VII AND VIII OF THIS CHAPTER. WHEN A SWM SITE PLAN IS REQUIRED BY THIS CHAPTER, ALL REGULATED ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE FINAL APPROVED SWM SITE PLAN.
- THE TOWNSHIP ENGINEER OR OTHER TOWNSHIP DESIGNEE SHALL BE PROVIDED ACCESS TO THE SITE TO INSPECT ALL PHASES OF THE EROSION AND SEDIMENT CONTROL MEASURES AND INSTALLATION OF THE PERMANENT BMPs AND CONVEYANCES AT SUCH TIMES AS DEEMED APPROPRIATE BY THE TOWNSHIP ENGINEER OR OTHER TOWNSHIP DESIGNEE.
- PERIODIC INSPECTIONS MAY BE MADE BY THE TOWNSHIP ENGINEER OR OTHER DESIGNEE DURING CONSTRUCTION. A SET OF DESIGN PLANS APPROVED BY THE TOWNSHIP SHALL BE ON FILE AND AVAILABLE FOR VIEWING AT THE SITE THROUGHOUT THE DURATION OF THE CONSTRUCTION ACTIVITY.
- INSPECTIONS, INCLUDING BUT NOT LIMITED TO A FINAL INSPECTION, OF ALL CONSTRUCTED BMPs, CONVEYANCES, OR OTHER STORMWATER FACILITIES, AND RELATED IMPROVEMENTS MAY BE CONDUCTED BY THE TOWNSHIP ENGINEER OR OTHER DESIGNEE TO CONFIRM COMPLIANCE WITH THIS CHAPTER AND WITH THE FINAL APPROVED SWM SITE PLAN PRIOR TO THE ISSUANCE OF ANY OCCUPANCY PERMIT, USE PERMIT, OR OTHER FORM OF FINAL APPROVAL OF THE PROJECT BY THE TOWNSHIP. DURING ANY STAGE OF THE WORK, THE TOWNSHIP MAY PURSUE ENFORCEMENT FOR VIOLATIONS CONSISTENT WITH THE PROVISIONS OF ARTICLE IX.
- IF AN NPDES PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES WAS REQUIRED FOR THE REGULATED ACTIVITY, A NOTICE OF TERMINATION (NOT) APPROVAL MUST BE OBTAINED UPON COMPLETION OF CONSTRUCTION PRIOR TO FINAL APPROVAL OF THE PROJECT BY THE MUNICIPALITY.
- UPON COMPLETION OF CONSTRUCTION, EVERY PERMANENT STORMWATER BMP, CONVEYANCE OR OTHER STORMWATER MANAGEMENT FACILITY CONSTRUCTED OR USED AS PART OF THE REGULATED ACTIVITY SHALL BE OPERATED, MAINTAINED AND INSPECTED BY THE LANDOWNER, OR OTHER DESIGNATED PERSON, IN ACCORDANCE WITH THE O&M PLAN AND O&M AGREEMENT APPROVED BY THE TOWNSHIP.
- THE TOWNSHIP OR ITS DESIGNEE MAY PERIODICALLY INSPECT ANY PERMANENT STORMWATER BMP, CONVEYANCE OR STORMWATER MANAGEMENT FACILITY FOR COMPLIANCE WITH THIS CHAPTER, AN APPROVED O&M PLAN, OR AN APPROVED O&M AGREEMENT, PER THE PROVISIONS OF ARTICLE IX. THE TOWNSHIP MAY INSPECT AT ANY TIME IT HAS REASON TO BELIEVE A VIOLATION EXISTS. THE TOWNSHIP MAY PURSUE ENFORCEMENT FOR VIOLATIONS CONSISTENT WITH THE PROVISIONS OF ARTICLE IX.

WET POND SEQUENCE OF CONSTRUCTION

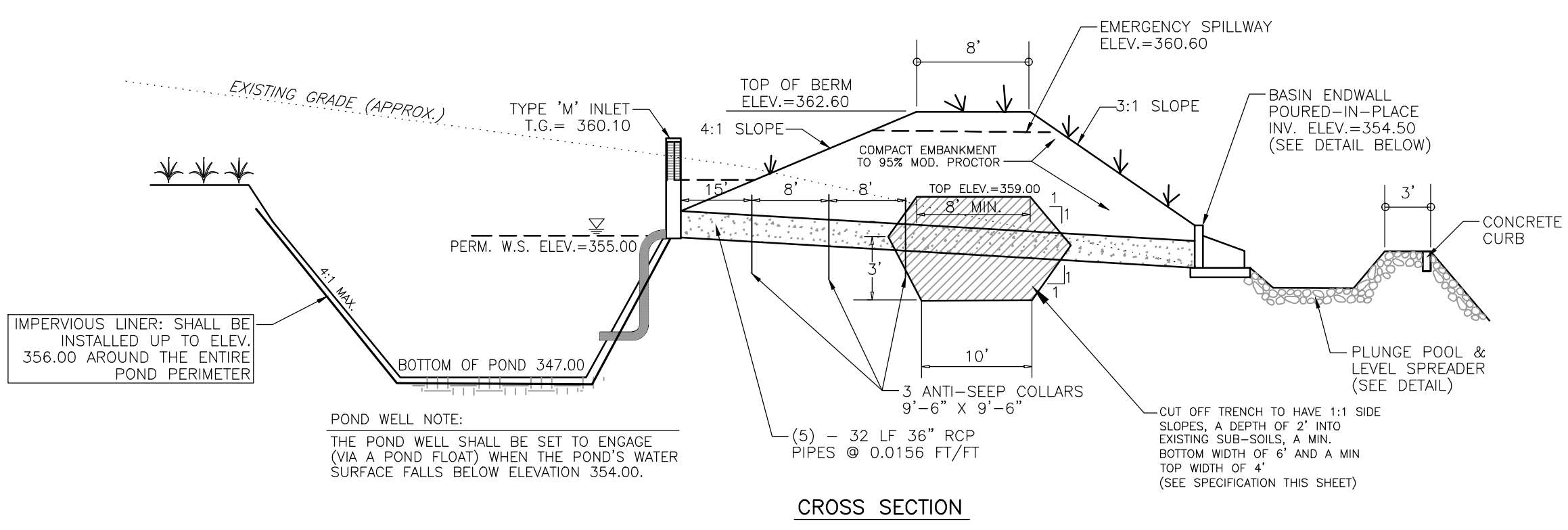
- NOTIFY THE TOWNSHIP ENGINEER, IN WRITING, A MINIMUM OF 72 HOURS PRIOR TO STARTING CONSTRUCTION OF THE PROPOSED BMP.
- THE PROPOSED BMP HAS BEEN DESIGNED UTILIZING AN IMPERVIOUS LINER TO PREVENT WATER TRANSFER TO THE UNDERLYING KARST GEOLOGIC FORMATION; THEREFORE, THERE IS NO REQUIREMENT TO PROTECT OR PREVENT THE EXISTING SUB-GRADE FROM BEING COMPACTED OR SUBJECTED TO EXCESSIVE CONSTRUCTION EQUIPMENT TRAFFIC.
- THE FACILITY WILL BE INSTALLED DURING INITIAL GRADING ACTIVITIES A SEDIMENT TRAP AND WILL THEN BE CONVERTED TO FINAL CONDITION IN THE FINAL PHASES OF SITE CONSTRUCTION TO PREVENT SEDIMENTATION AND/OR DAMAGE FROM CONSTRUCTION ACTIVITY. AFTER THE INSTALLATION HAS BEEN COMPLETED, THE CONTRACTOR SHALL SURROUND THE BMP WITH SILT SOCK OR SILT FENCE TO PREVENT SEDIMENT FROM ENTERING THE SOIL MEDIA AND BMP FOOTPRINT.
- REMOVE THE STONE BERM AND FAIRCLOTH SKIMMER DEVICE.
- BRING POND AND MRC FACILITIES TO GRADE AND INSTALL IMPERVIOUS LINERS.
- GRADE THE BASIN BOTTOM TO THE ELEVATIONS DETAILED ON THE PLAN AND IMMEDIATELY STABILIZE THE DISTURBED AREAS WITH THE PERMANENT SEED MIXTURE, MULCH AT 3 TONS ACRE, AND LIME AS PRESCRIBED.
- IN ACCORDANCE WITH §270-29(a)(7) PERMANENT GRASSES OR STABILIZATION MEASURES SHALL BE ESTABLISHED ON THE SIDES OF ALL EARTHEN BASINS BY HYDROSEEDING WITHIN 5 DAYS OF INITIAL CONSTRUCTION.

WET POND MAINTENANCE NOTES:

- THE WET POND HAS BEEN DESIGNED TO RECEIVE OVERFLOW FROM THE FOUR (4) MRC FACILITIES LOCATED UP GRADIENT OF THE BASIN TO CONTROL THE RATE OF STORMWATER LEAVING THE SITE AND ENTERING THE SURFACE WATERS. THE FACILITY SHALL BE INSPECTED AFTER ALL STORM EVENTS TO ENSURE IT IS FUNCTIONING PROPERLY. THE GOAL OF THE INSPECTION AND MAINTENANCE CRITERIA IS TO ENSURE THE STORMWATER MANAGEMENT FACILITY FUNCTIONS AS INTENDED OVER ITS LIFETIME.
 - ENSURE THAT THE OUTLET STRUCTURES/TRASH RACKS ARE FREE OF FLOATABLES AND DEBRIS THAT COULD BLOCK THE OUTFALL AND CAUSE THE DETENTION POND TO PREMATURELY OVERFLOW.
 - ENSURE STRUCTURES ARE FREE OF FLOATABLES AND DEBRIS THAT COULD BLOCK THE OUTFALL AND CAUSE THE BASIN TO PREMATURELY OVERFLOW.
 - VERIFY THAT THE TRASH RACK IS FREE OF DEBRIS.
 - VERIFY THAT THE ORIFICES ARE FREE OF DEBRIS.
 - VERIFY THAT THE STILLING BASIN IS NOT SILTED IN AND THAT THERE IS NO EROSION AT THE DOWNSTREAM END.
 - VERIFY THAT NO EROSION HAS OCCURRED WITHIN THE RAIN GARDEN. ALL EROSION AND RILLS SHALL BE REPAIRED IMMEDIATELY AND ESTABLISHED. IF RILLS OR EROSION CONTINUES, CONTACT THE DESIGN ENGINEER.
- WHILE VEGETATION IS BEING ESTABLISHED, PRUNING AND WEEDING MAY BE REQUIRED. DEBRIS MAY ALSO NEED TO BE REMOVED EVERY YEAR. PERENNIAL PLANTINGS MAY BE CUT DOWN AT THE END OF THE GROWING SEASON.
- THE VEGETATION (FOR THE BMP AND CONTRIBUTING DRAINAGE AREA) SHOULD BE MAINTAINED IN GOOD CONDITION, ANY BARE SPOTS SHALL BE REVEGETATED.
- THE DETENTION POND SHOULD BE INSPECTED AT LEAST TWO TIMES PER YEAR FOR SEDIMENT BUILDUP, EROSION AND VEGETATIVE CONDITIONS. LEAF LITTER SHOULD BE REMOVED ANNUALLY.
- AFTER SEDIMENT REMOVAL, THE BASIN BOTTOM SHALL BE RE-PLANTED WITH THE APPROPRIATE SEED MIX, AS SPECIFIED ON THIS PLAN.

SCM-1 OUTLET STRUCTURE NOTES:

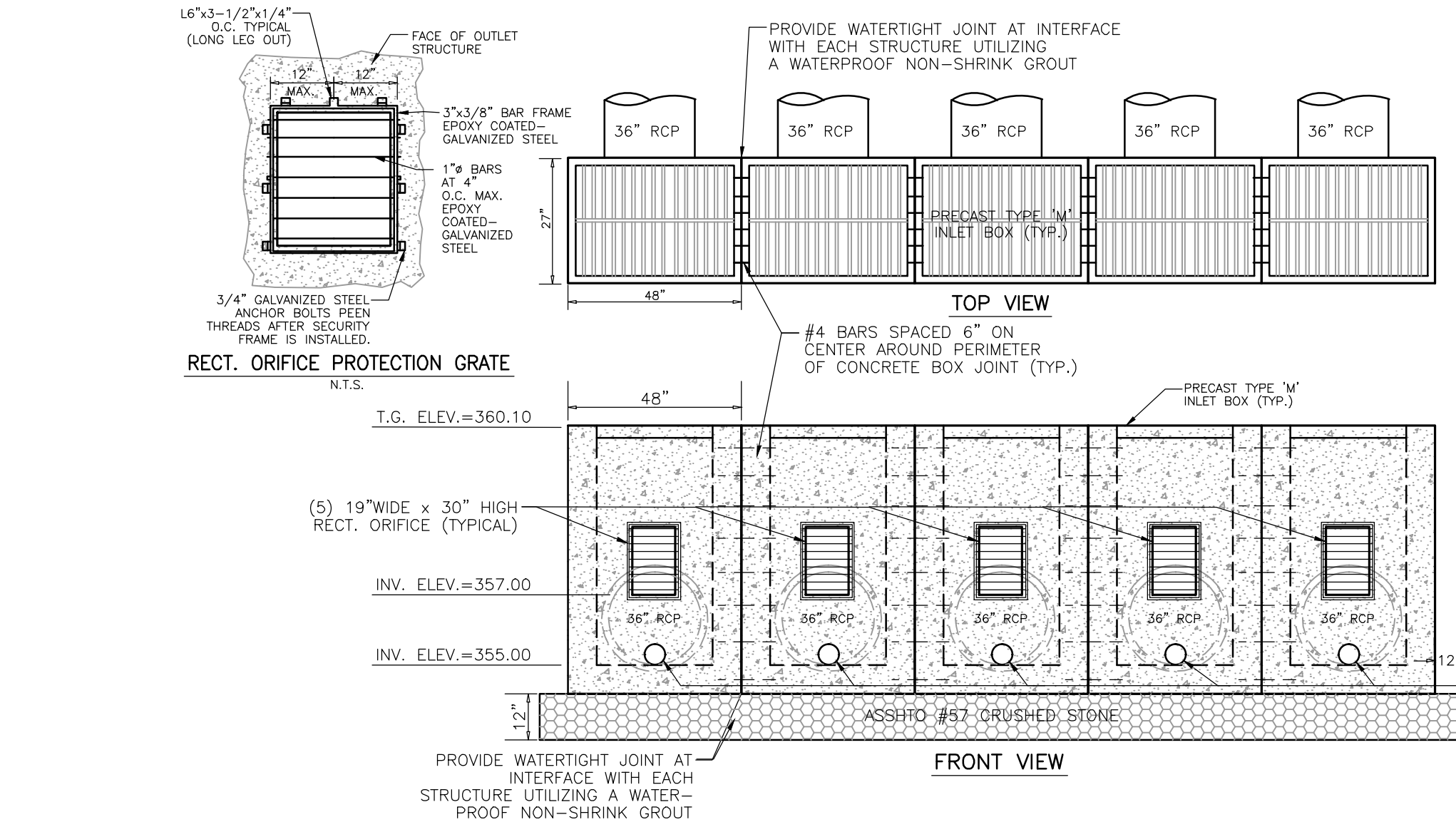
- THE OUTLET STRUCTURE, PLUNGE POOL, LEVEL SPREADER AND RIPRAP LINED CHANNEL FOR THE WET POND, BMP-01, WERE CONSTRUCTED CIRCA 2010 WITH A PREVIOUSLY APPROVED DEVELOPMENT PLAN FOR THE SITE. THAT PREVIOUS PROJECT WAS NEVER COMPLETED AND EVENTUALLY, THE SEDIMENT TRAP AND OUTLET STRUCTURE WERE BURIED.
- THIS PROJECT IS PROPOSING TO UNCOVER THE EXISTING OUTFALL STRUCTURE.
- THE OUTLET STRUCTURE, PLUNGE POOL, LEVEL SPREADER AND RIP RAP LINED CHANNEL SHALL BE ASSESSED FOR ANY DAMAGE AND APPROPRIATELY REPAIRED AND SUBSEQUENTLY MAINTAINED IN ACCORDANCE WITH THE DETAILS PROVIDED ON THIS PLAN.



CROSS SECTION

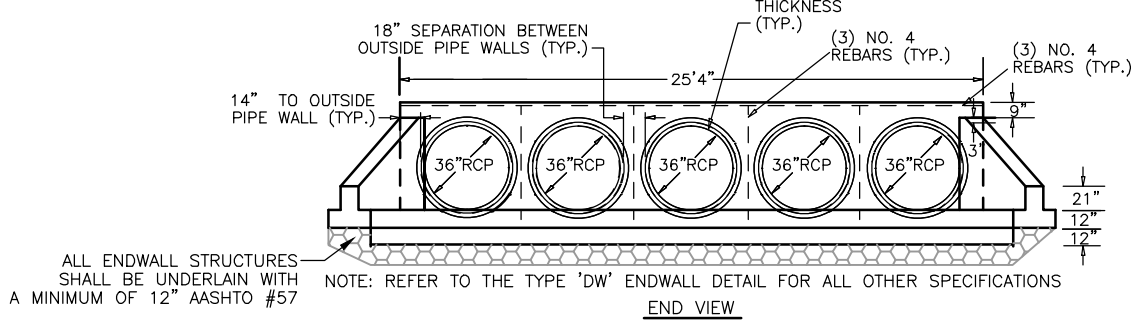
SCM-1 WET POND DETAIL

NOT TO SCALE



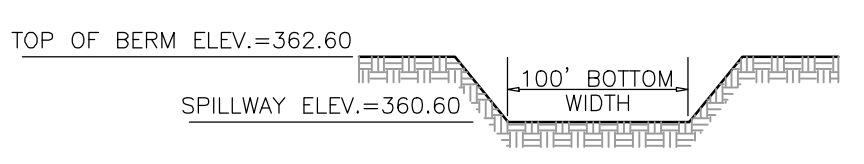
SCM-1 TYPE 'M' INLET OUTLET CONTROL STRUCTURE DETAIL

NOT TO SCALE



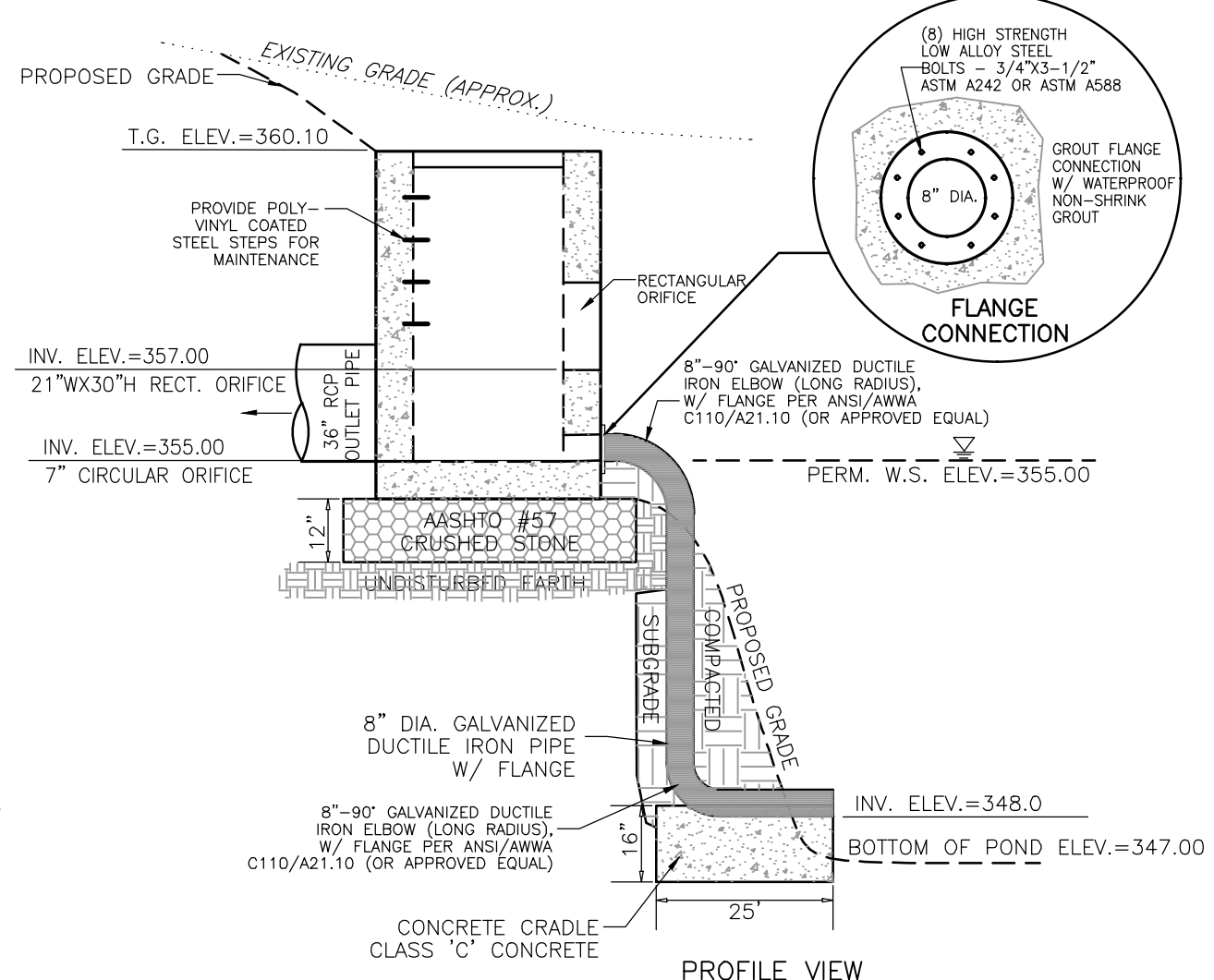
SCM-1 WET POND ENDWALL DETAIL

NOT TO SCALE

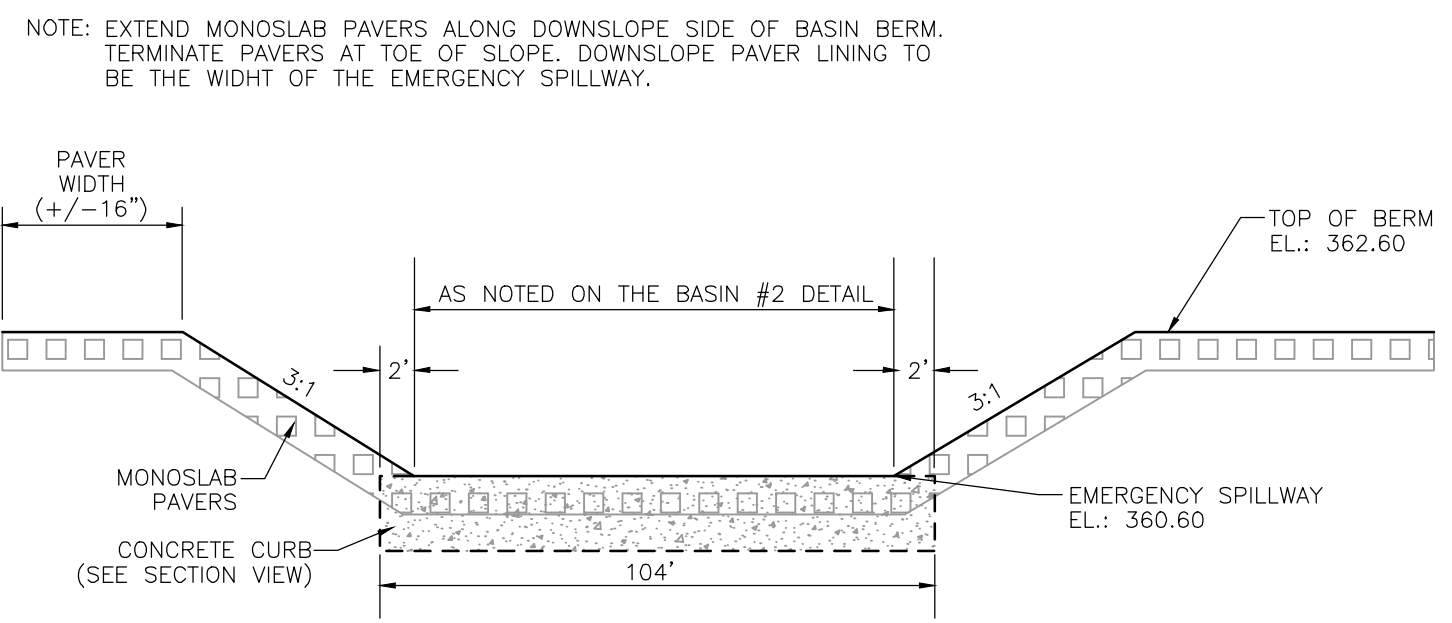


EMERGENCY SPILLWAY (SEE MONOSLAB PAVER DETAIL)

NOT TO SCALE

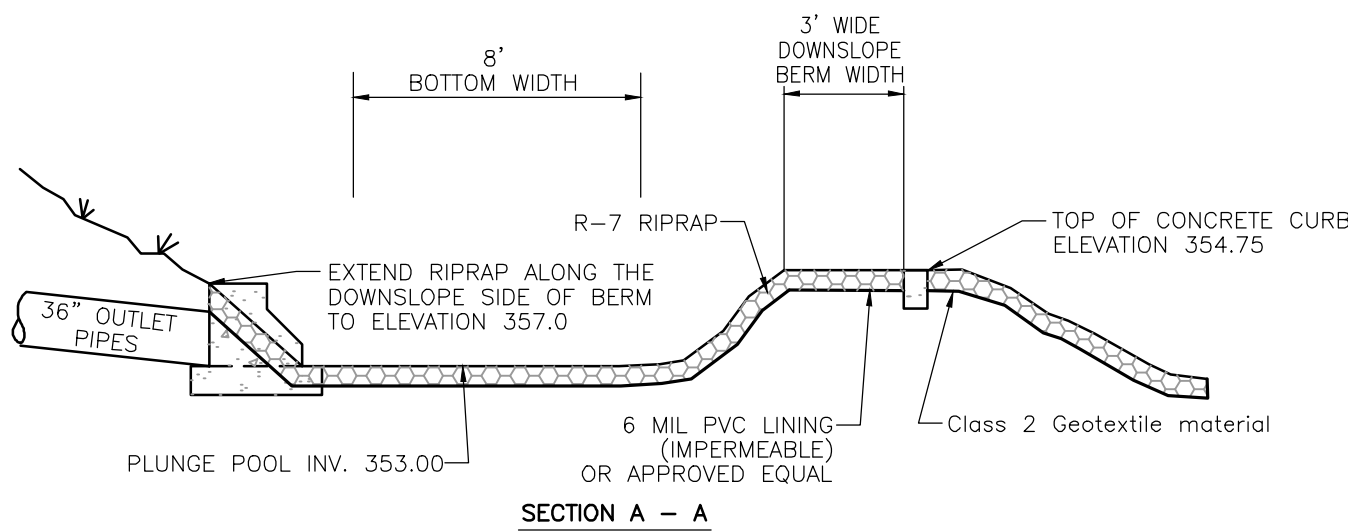


PROFILE VIEW



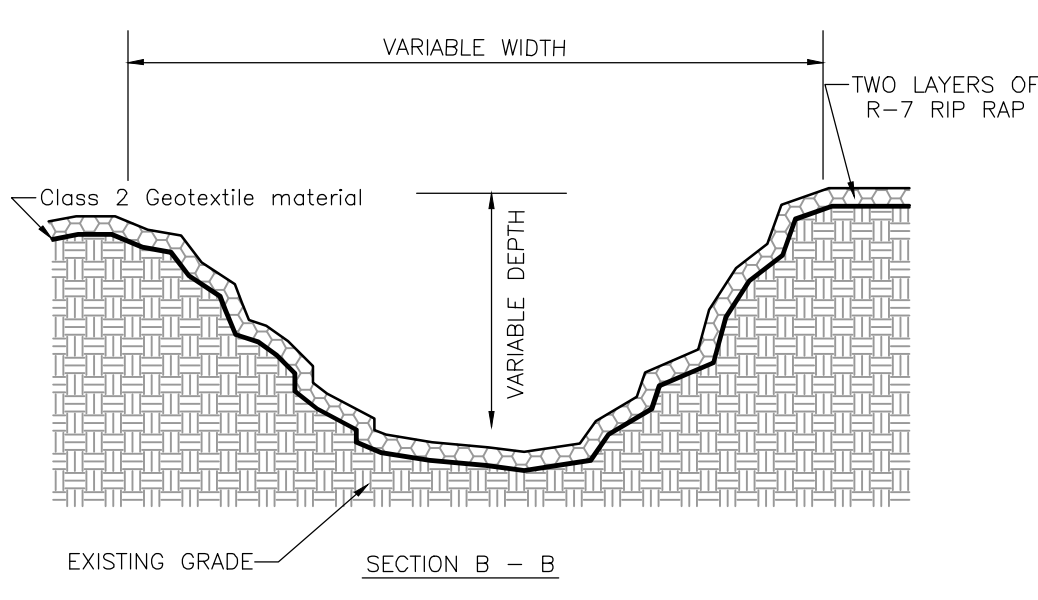
SCM-1 MONOSLAB PAVER EMERGENCY SPILLWAY DETAIL

NOT TO SCALE



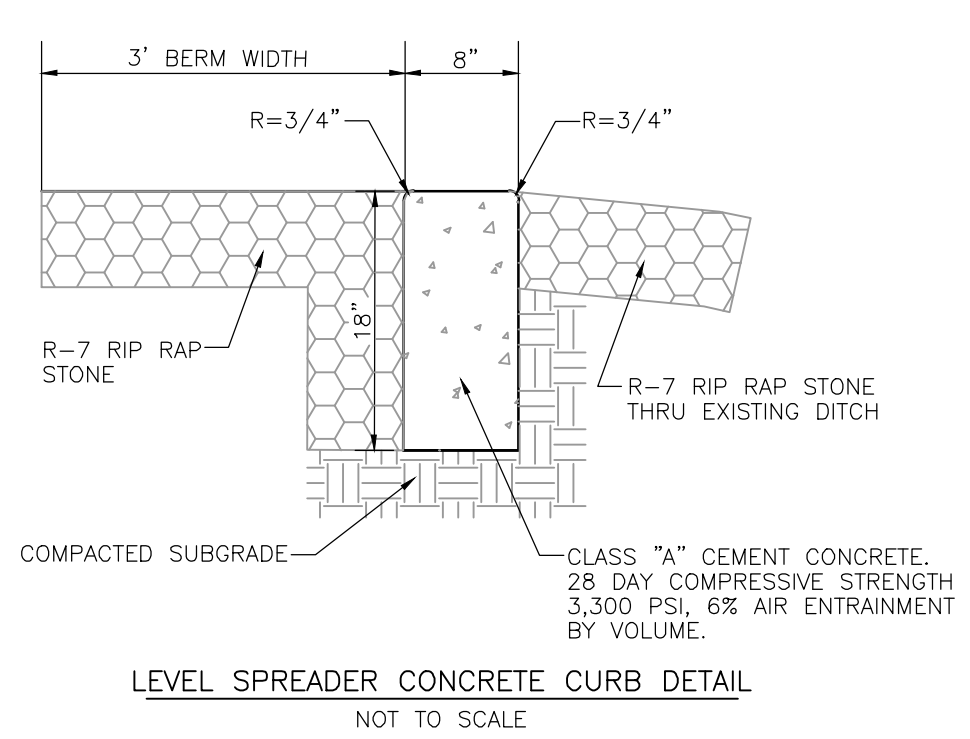
SECTION A - A

INV. BARREL OUTLET	INV. OF PLUNGE POOL	TOP OF CONCRETE CURB
354.50	353.00	354.75



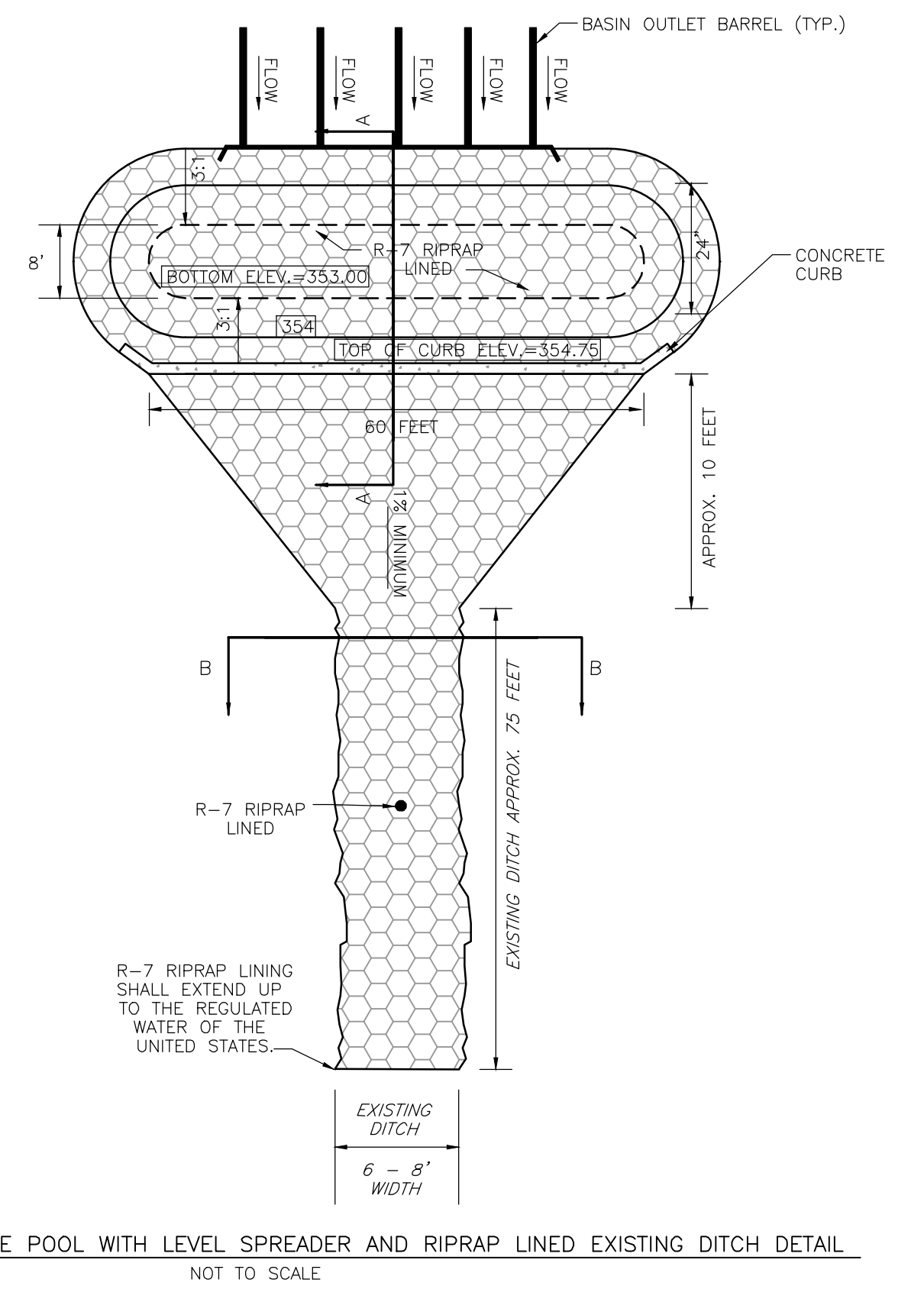
SECTION B - B

NOT TO SCALE



LEVEL SPREADER CONCRETE CURB DETAIL

NOT TO SCALE

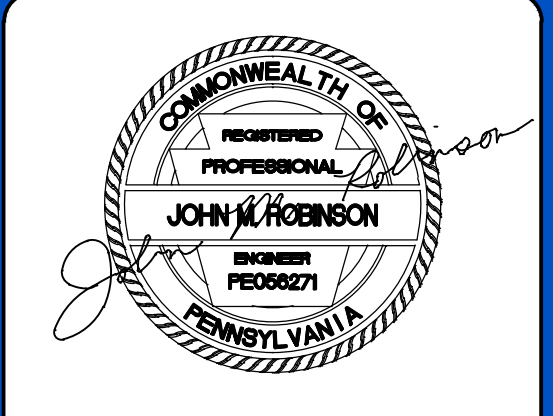


SCM-1 RIPRAP LINED PLUNGE POOL WITH LEVEL SPREADER AND RIPRAP LINED EXISTING DITCH DETAIL

NOT TO SCALE

NOTE:
SEE SHEET NUMBERS 5, 8, 11 & 12 FOR PCSM PLAN NOTES, DETAILS AND OPERATION & MAINTENANCE PROCEDURES.

JMR ENGINEERING, LLC
 PROFESSIONAL CIVIL ENGINEERING • LAND PLANNING SERVICES
 106 SCHUBERT DRIVE • DOWNTOWN, PA 19335
 PHONE: (484) 880-7342
 VOICE: (484) 880-7342
 EMAIL: ADMIN@JMRENGINEERING.COM
 WEBSITE: WWW.JMRENGINEERING.COM

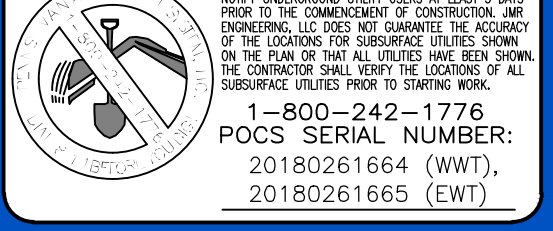


JOHN M. ROBINSON
 PROFESSIONAL ENGINEER
 PENNSYLVANIA LICENSE NO. PE056271

UTILITY USERS LIST

USERS	RESPONSES
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AT&T LOCAL SERVICES	
VERIZON CONTINENTAL GAS PIPELINE	
BUCKEYE PARTNERS	
WEST PENNSYLVANIA, INC.	
COMCAST CABLE	
WEST WHITELAND TOWNSHIP	
COMCAST CABLE COMMUNICATIONS, INC.	
WILET COMMUNICATIONS, LLC	
EAST WHITELAND TOWNSHIP	
LEVEL3 COMMUNICATIONS	
PECO ENERGY	
PHIL INTERSTATE ENERGY COMPANY	
SUNOCO PIPELINE, LP	

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PROFESSIONAL ENGINEER
 1-800-242-1776
 POCS SERIAL NUMBER:
 20180261664 (WWT)
 20180261665 (CWT)

PLAN REVISIONS

REV	DATE	DESCRIPTION OF CHANGES
1	03/19/24	REVISION PER WWT TOWNSHIP REVIEW COMMENTS
2	12/03/25	NO REVISION THIS SHEET
3	12/15/25	REVISED SITE LAYOUT

PROJECT: PRELIMINARY/FINAL LAND DEVELOPMENT PLAN FOR DATA CENTERS

LOCATION:
 215 VALLEY CREEK BLVD.
 EXTON, PA 19341
 WEST WHITELAND TOWNSHIP
 CHESTER COUNTY, PA

PARCELS:
 TAX PARCEL NUMBER:
 41-3-4

CLIENT:
 SENTINEL GREEN FIG, LLC
 505 5TH AVE, FLOOR 27
 NEW YORK, NY 10017

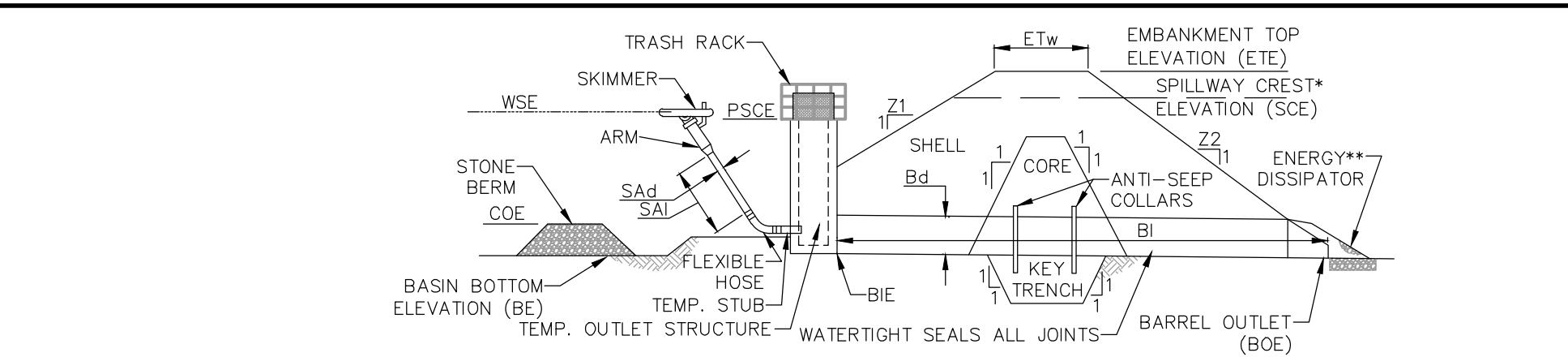
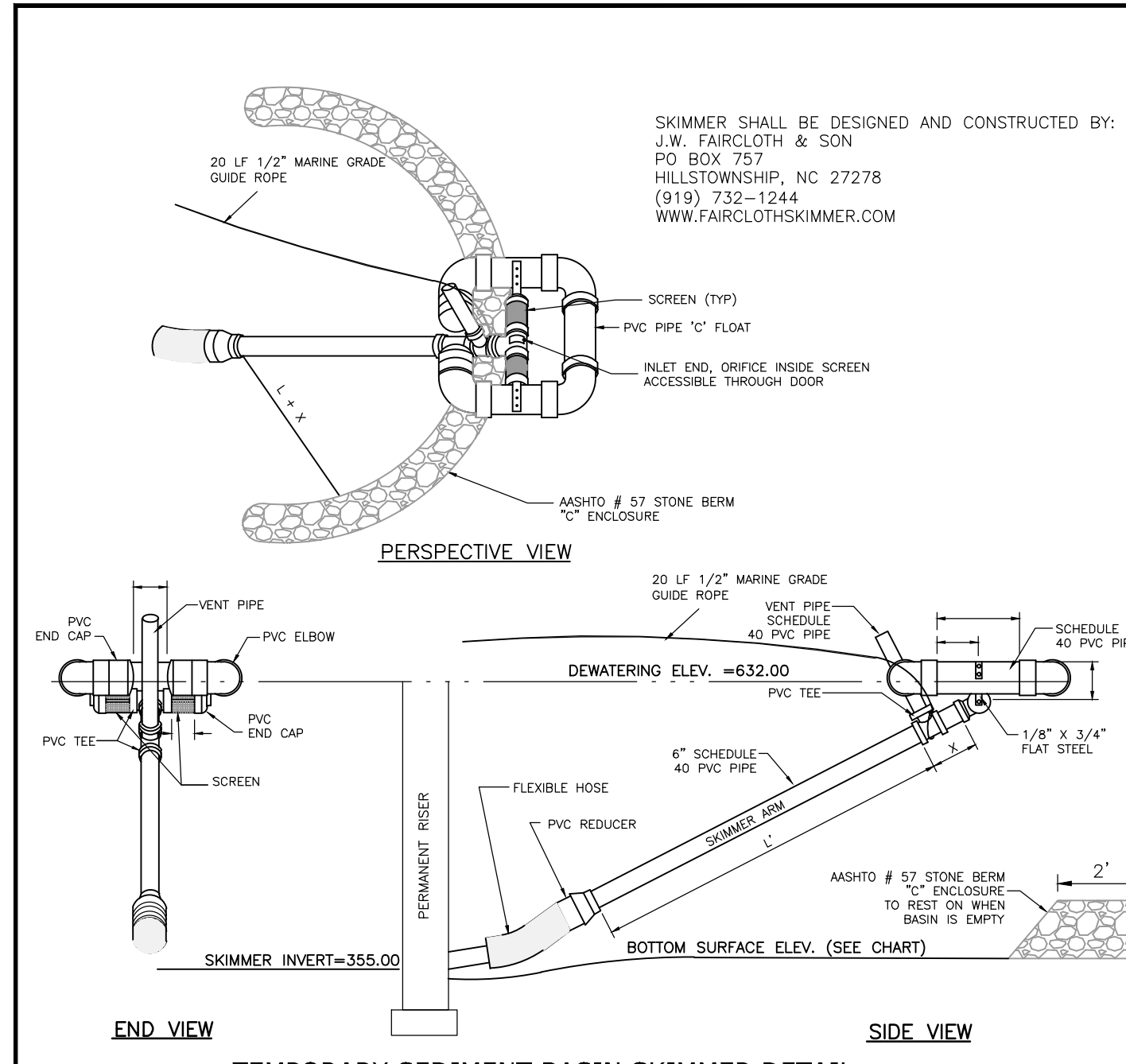
PROJECT No.: 1508-B
 SURVEY REF.: 1195-B (DSS)
 DRAWN BY: E.C.R.
 CHECKED BY: J.M.R.
 PLAN DATE: JANUARY 31, 2024
 PLAN SCALE: AS SHOWN

SHEET TITLE:

PCSM DETAILS

SHEET NUMBER:
12 OF **13**

Plot Date: Sat, Dec, 13, 2025
 File: 14 PCSM DETAILS.DWG



BASIN NO.	Z1 (FT)	Z2 (FT)	TEMP RISER ELEV PSCE (FT)	EMBANKMENT		CLEAN OUT ELEV COE (FT)	BOTTOM ELEV (FT)	SPILLWAY** CREST ELEV SCE (FT)	SPILLWAY** LENGTH (FT)	SPILLWAY** BREATH (FT)		
				TOP ELEV ETE (FT)	KEY TRENCH DEPTH (FT)							
1	4	4	360.10	362.60	8	2	5	356.20	355.00	360.60	100	20.8

SKIMMER			OUTLET BARREL			ENERGY DISSIPATOR**		
DIA (IN)	LENGTH (FT)	MAT'L	DIA (IN)	INLET ELEV BIE (FT)	MAT'L	LENGTH (FT)	OUTLET ELEV COE (FT)	SEE PLUNGE POOL DETAIL
6	15	PVC	5	365.00	RCP	32.0	354.50	

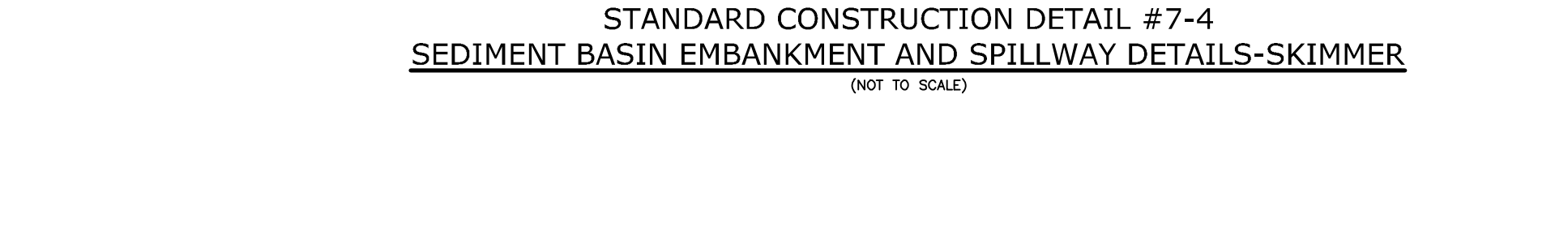
* SPILLWAY ELEVATION AND LENGTH TO BE EQUAL TO PERMANENT CONDITION. REFER TO THE PCSM DETAIL SHEETS FOR ALL EMERGENCY SPILLWAY DETAILS.
 ** REFER TO THE PCSM DETAIL SHEETS FOR THE PROPOSED LEVEL SPREADER DETAIL.

SEDIMENT BASINS, INCLUDING ALL APPURTENANT WORKS, SHALL BE CONSTRUCTED TO THE DETAIL AND DIMENSIONS SHOWN ON THE E&S PLAN DRAWINGS.

AREA UNDER EMBANKMENT SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO A DEPTH OF TWO FEET PRIOR TO ANY PLACEMENT AND COMPACTION OF EARTHEN FILL IN ORDER TO FACILITATE MAINTENANCE AND RESTORATION. THE POOL AREA SHALL BE CLEARED OF ALL BRUSH, TREES, AND OBJECTIONABLE MATERIAL. FILL MATERIAL FOR THE EMBANKMENTS SHALL BE FREE OF ROOTS, OR OTHER WOODY VEGETATION, ORGANIC MATERIAL, LARGE STONES, AND OTHER OBJECTIONABLE MATERIALS. THE EMBANKMENT SHALL BE COMPACTED IN LAYERED LIFTS OF NOT MORE THAN 6 TO 9 IN. THE MAXIMUM ROCK SIZE SHALL BE NO GREATER THAN 2/3 THE LIFT THICKNESS.

UPON COMPLETION, THE EMBANKMENT SHALL BE SEEDED, MULCHED, BLANKETED OR OTHERWISE STABILIZED ACCORDING TO THE SPECIFICATIONS OF THE E&S PLAN DRAWINGS. TREES SHALL NOT BE PLANTED ON THE EMBANKMENT.
 INSPECT ALL SEDIMENT BASINS ON AT LEAST A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. PROVIDE ACCESS FOR SEDIMENT REMOVAL AND OTHER REQUIRED MAINTENANCE ACTIVITIES. A CLEAN OUT STAKE SHALL BE PLACED NEAR THE CENTER OF EACH BASIN. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT HAS REACHED THE CLEAN OUT ELEVATION ON THE STAKE AND THE BASIN RESTORED TO ITS ORIGINAL DIMENSIONS. DISPOSE OF MATERIALS REMOVED FROM THE BASIN IN THE MANNER DESCRIBED IN THE E&S PLAN.
 BASIN EMBANKMENTS, SPILLWAYS, AND OUTLETS SHALL BE INSPECTED FOR EROSION, PIPING AND SETTLEMENT. NECESSARY REPAIRS SHALL BE IMMEDIATELY DISPLACED RIPRAP WITHIN THE OUTLET ENERGY DISSIPATOR SHALL BE REPLACED IMMEDIATELY.
 ACCUMULATED SEDIMENT SHALL BE REMOVED AND DISTURBED AREAS SHALL BE STABILIZED INSIDE THE BASIN BEFORE CONVERSION TO A STORMWATER MANAGEMENT FACILITY. THE DEVICE SHOWN IN STANDARD CONSTRUCTION DETAIL #7-16 MAY BE USED TO DEWATER SATURATED SEDIMENT PRIOR TO ITS REMOVAL. ROCK FILTERS SHALL BE ADDED AS NECESSARY.

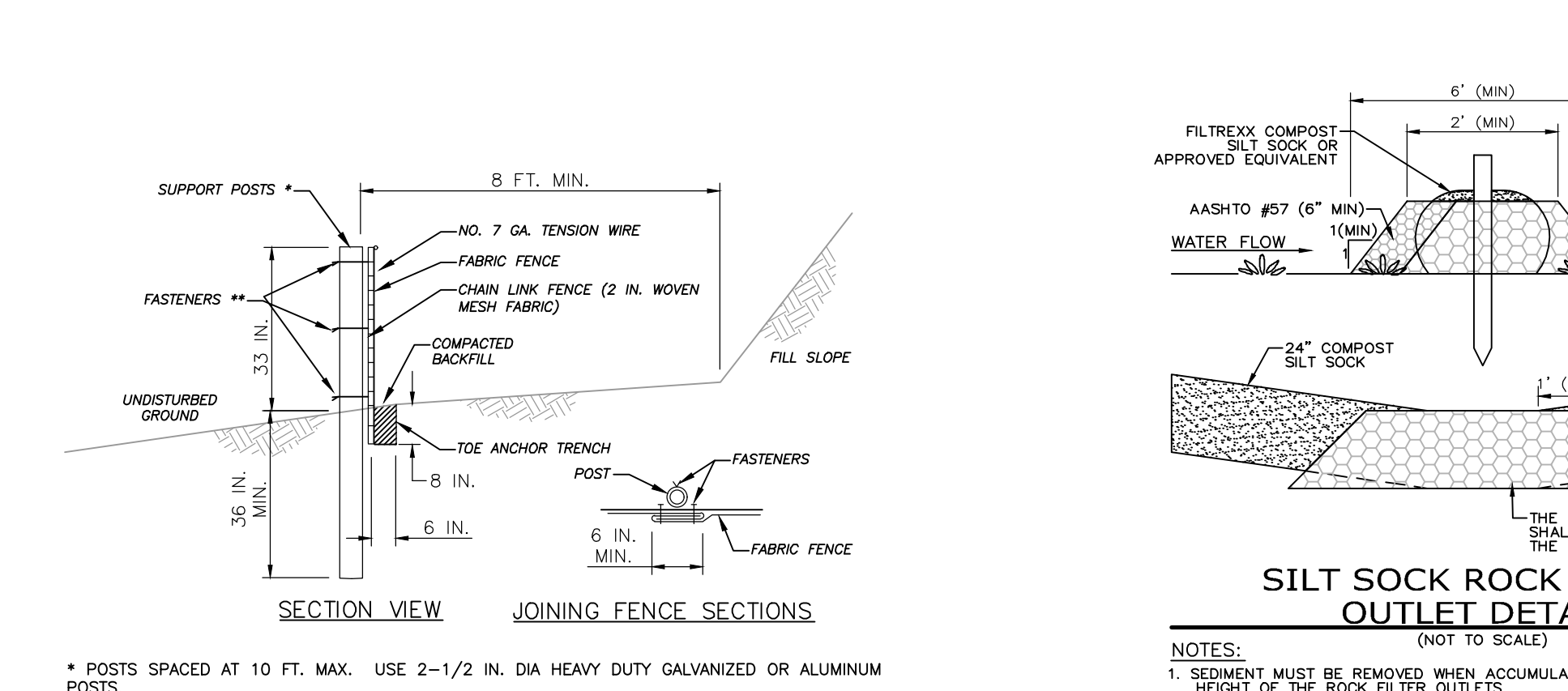
**STANDARD CONSTRUCTION DETAIL #7-4
 SEDIMENT BASIN EMBANKMENT AND SPILLWAY DETAILS-SKIMMER**
 (NOT TO SCALE)



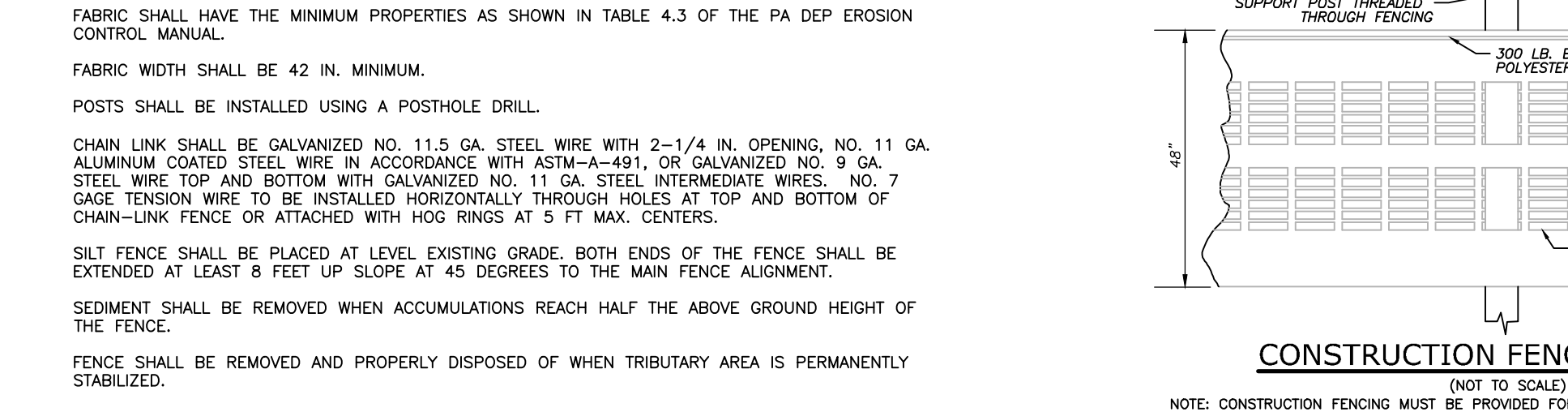
SEDIMENT BASIN CONSTRUCTION SEQUENCE

- INSTALL SILT SOCKS AT BOTTOM OF SLOPE.
- CLEAR AND GRUB AREA. STRIP AND STOCKPILE TOPSOIL FROM BASIN AREA TO BE GRADED.
- EXCAVATE THE CUT-OFF TRENCH AS SHOWN ALONG THE LONGITUDINAL CENTER LINE OF THE BERM. THE MINIMUM DEPTH OF THE CUT-OFF TRENCH SHALL BE THREE FEET (3'). IT SHALL EXTEND UP BOTH ADJUTMENTS TO THE RISER CREST ELEVATION. THE MINIMUM BOTTOM WIDTH SHALL BE FOUR FEET (4'), BUT WIDE ENOUGH TO PERMIT OPERATION OF COMPACTION EQUIPMENT. THE SIDE SLOPES WILL BE NO STEEPER THAN 1:1. COMPACTION REQUIREMENTS SHALL BE THE SAME AS THOSE FOR EMBANKMENTS - 95%. THE TRENCH SHALL BE KEPT FREE OF STANDING WATER DURING THE BACKFILLING OPERATION.
- EMBANKMENT DAM/RISER & BARREL CONSTRUCTION - THE FILL MATERIAL SHALL BE TAKEN FROM SELECT BORROW AREAS. IT SHALL BE FREE OF ROOTS, STONES, WOODY VEGETATION, BULDERS AND OTHER EXTRANEOUS MATERIAL. AREAS ON WHICH FILL IS TO BE PLACED SHALL BE SCORIFIED PRIOR TO PLACEMENT. THE FILL MATERIAL SHALL CONTAIN SUFFICIENT MOISTURE SO THAT IT CAN BE FORMED BY HAND INTO A BALL WITHOUT CRUMBLING. IF WATER CAN BE SQUEEZED OUT OF THE BALL, THE SOIL IS TOO WET FOR COMPACTION. FILL MATERIAL SHALL BE PLACED IN SIX TO EIGHT INCH (6" - 8") LAYERS AND SHALL BE CONTINUOUS OVER THE ENTIRE LENGTH OF THE EMBANKMENT. IF COMPACTORS ARE USED, THE OVER-BUILD MAY BE REDUCED TO 5%. EMBANKMENT SURFACE OF THE FILL IS TRANVERSED BY AT LEAST ONE TREAD TRACK OF THE EQUIPMENT, OR EQUIPMENT. IF COMPACTORS ARE USED, THE OVER-BUILD MAY BE REDUCED TO 5%. EMBANKMENT SHALL BE COMPACTED TO NO LESS THAN 95% OF THE DETERMINED DRY WEIGHT DENSITY. ALL BASIN EMBANKMENTS SHOULD BE COMPACTED BY SHEEPSFOOT OR PAD ROLLER. THE LOOSE LIFT THICKNESS SHOULD BE 9 INCHES OR LESS, DEPENDING ON ROLLER SIZE. THE MAXIMUM PARTICLE SIZE IS 4 INCHES OR LESS - 4 LIFT THICKNESS. FIVE PASSES OF THE COMPACTION EQUIPMENT OVER THE ENTIRE SURFACE OF EACH LIFT IS REQUIRED. EMBANKMENT COMPACTION TO VISIBLE NON-MOVEMENT IS ALSO REQUIRED. FAIRCLOTH SKIMMER - INSTALL THE FAIRCLOTH SKIMMER IN THE SEDIMENT BASIN, AS SHOWN ON THE DETAILS (THIS SHEET).
- THE BASIN BOTTOM SHALL BE SEEDED AND MULCHED. THE CLEANOUT ELEVATION SHALL BE MARKED ON THE RISER WITH RED PAINT AND WITH STAKES AS SHOWN ON THE MAPPING.
- APPLY EROSION CONTROL MATTING TO THE BERM AND SPILLWAY. INSTALL STONE FILTER BERM AS SHOWN.

NOTE: SEE SHEET'S 7, 8 AND 13 FOR ADDITIONAL EROSION POLLUTION CONTROL NOTES AND DETAILS.



STANDARD CONSTRUCTION DETAIL #4-10-SUPER SILT FENCE
 (NOT TO SCALE)



NOTE: CONSTRUCTION FENCING MUST BE PROVIDED FOR THE PROTECTION OF ALL UTILIZATION FACILITIES. HOWEVER, WOODEN STAKES AND STRING LINE MAY BE USED FOR LIMITS OF DISTURBANCE DELINEATION IF ALLOWED BY THE LOCAL CONSERVATION DISTRICT.

BMP INSPECTION & MAINTENANCE NOTES

A. BMP'S
 UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENTATION BMP'S MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENTATION BMP'S AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL SITE INSPECTIONS WILL BE DOCUMENTED IN AN INSPECTION LOG IN ACCORDANCE WITH THE APPROVED E&S PLAN. A COPY OF THE COMPLIANCE ACTIONS AND THE DATE, TIME AND NAME OF PERSON CONDUCTING THE INSPECTION, THE INSPECTION LOG WILL BE KEPT ON THE TIME FRAME TO CORRECT THE NON-COMPLIANCE. THE DISTRICT UPON REQUEST.

ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADE, RESEEDING, REMULCHING AND RETENING, MUST BE PERFORMED IMMEDIATELY. IF EROSION AND SEDIMENTATION BMP'S FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMP'S OR MODIFICATIONS OF INSTALLED WILL BE NEEDED.

WHERE BMP'S ARE FOUND TO FAIL TO ALLEVATE EROSION OR SEDIMENT POLLUTION THE PERMITEE OR CO-PERMITEE SHALL INCLUDE THE FOLLOWING INFORMATION:

- THE LOCATION AND SEVERITY OF THE BMP'S FAILURE AND ANY POLLUTION EVENTS.
- ALL STEPS TAKEN TO, REDUCE, ELIMINATE AND PREVENT REOCURENCE OF THE NON-COMPLIANCE.
- THE TIME FRAME TO CORRECT THE NON-COMPLIANCE, INCLUDING THE EXACT DATE WHEN THE ACTIVITY WILL RETURN TO COMPLIANCE.

AFTER FINAL STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMP'S MUST BE REMOVED. AREAS DISTURBED DURING REMOVAL OF BMP'S MUST BE STABILIZED IMMEDIATELY.

B. CONSTRUCTION ENTRANCE

- THE STRUCTURE THICKNESS WILL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSION BY ADDING ROCK. A STOCKPILE OF ROCK MATERIAL WILL BE MAINTAINED ON THE SITE FOR THIS PURPOSE. AT THE END OF EACH CONSTRUCTION DAY, ALL SEDIMENT ON THE PUBLIC ROADWAYS WILL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE. WASHING THE ROADWAY WITH WATER IS NOT PERMITTED.
- SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION OR SHALL BE IMMEDIATELY REPLACED WITH A ROCK FILTER OUTLET.
- BIODEGRADABLE FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS. PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
- UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

C. COMPOST FILTER SOCKS

- ROLLED EARTHEN FILL SHALL BE PROVIDED AND MAINTAINED IMMEDIATELY DOWN GRADIENT OF THE PROTECTED INLET UNTIL ROADWAY IS STONED. ROAD SURFACE BERM SHALL BE PROVIDED UNTIL ROADWAY IS PAVED. A 6" MINIMUM HEIGHT ASPHALT BERM SHALL BE MAINTAINED UNTIL ROADWAY SURFACE RECEIVES FINAL COAT.
- SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE HEIGHT OF THE STONE. DAMAGED OR CLOSED INSTALLATIONS SHALL BE REPAIRED OR REPLACED IMMEDIATELY.

D. INLET PROTECTION & ASPHALT DEFLECTION BERM

- ROLLED EARTHEN FILL SHALL BE PROVIDED AND MAINTAINED IMMEDIATELY DOWN GRADIENT OF THE PROTECTED INLET UNTIL ROADWAY IS STONED. ROAD SURFACE BERM SHALL BE PROVIDED UNTIL ROADWAY IS PAVED. A 6" MINIMUM HEIGHT ASPHALT BERM SHALL BE MAINTAINED UNTIL ROADWAY SURFACE RECEIVES FINAL COAT.
- SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE HEIGHT OF THE STONE. DAMAGED OR CLOSED INSTALLATIONS SHALL BE REPAIRED OR REPLACED IMMEDIATELY.

E. ROCK FILTERS

- ROCK FILTERS WILL BE REMOVED WHEN CLOGGED WITH SEDIMENTS. MATERIALS MUST BE WASHED COMPLETELY FREE OF ALL FOREIGN MATERIALS OR NEW ROCK USED TO REBUILD THE FILTER.

F. CONCRETE WASHOUT AREA

- CHECK WASHOUT FACILITIES DAILY TO DETERMINE IF IT HAS BEEN FILLED TO 75% CAPACITY. CHECK TO MAKE SURE LININGS ARE INTACT AND HAVE NOT BEEN DAMAGED.
- IF WASHOUT IS NEARLY CAPACITY, VACUUM AND DISPOSE OF THE WASTE MATERIAL IN AN APPROVED MANNER. DO NOT DISCHARGE LIQUIDS TO WATERWAYS, STORM DRAINS, DIRECTLY ONTO GROUND OR SANITARY SEWER.
- REMOVE LIQUIDS OR OILS TO THE STRIPPING POOL. THE STRIPPING POOL MUST BE MAINTAINED TO PREVENT OVERFLOWS.
- AFTER REMOVAL OF MATERIALS FROM STRIPPING POOL, INSPECT FOR WEAR, SCUFFING OR DAMAGE. REBUILD STRUCTURE OR MAKE NECESSARY REPAIRS AND INSTALL NEW PLASTIC LINING AFTER EACH CLEANING.

G. PUMPED WATER FILTER BAG

- THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATED AND SCORIFIED.
- SEDIMENT WILL NOT BE ALLOWED TO ENTER TRENCHES OF THE COMMONWEALTH DURING OTHER SEDIMENT REMOVAL OR DISPOSAL. OPERATIONS.
- THE SEDIMENT TRAP SHOULD NOT BE REMOVED UNTIL CONTRIBUTING DRAINAGE AREA IS 70% STABILIZED.

H. EROSION CONTROL BLANKETS

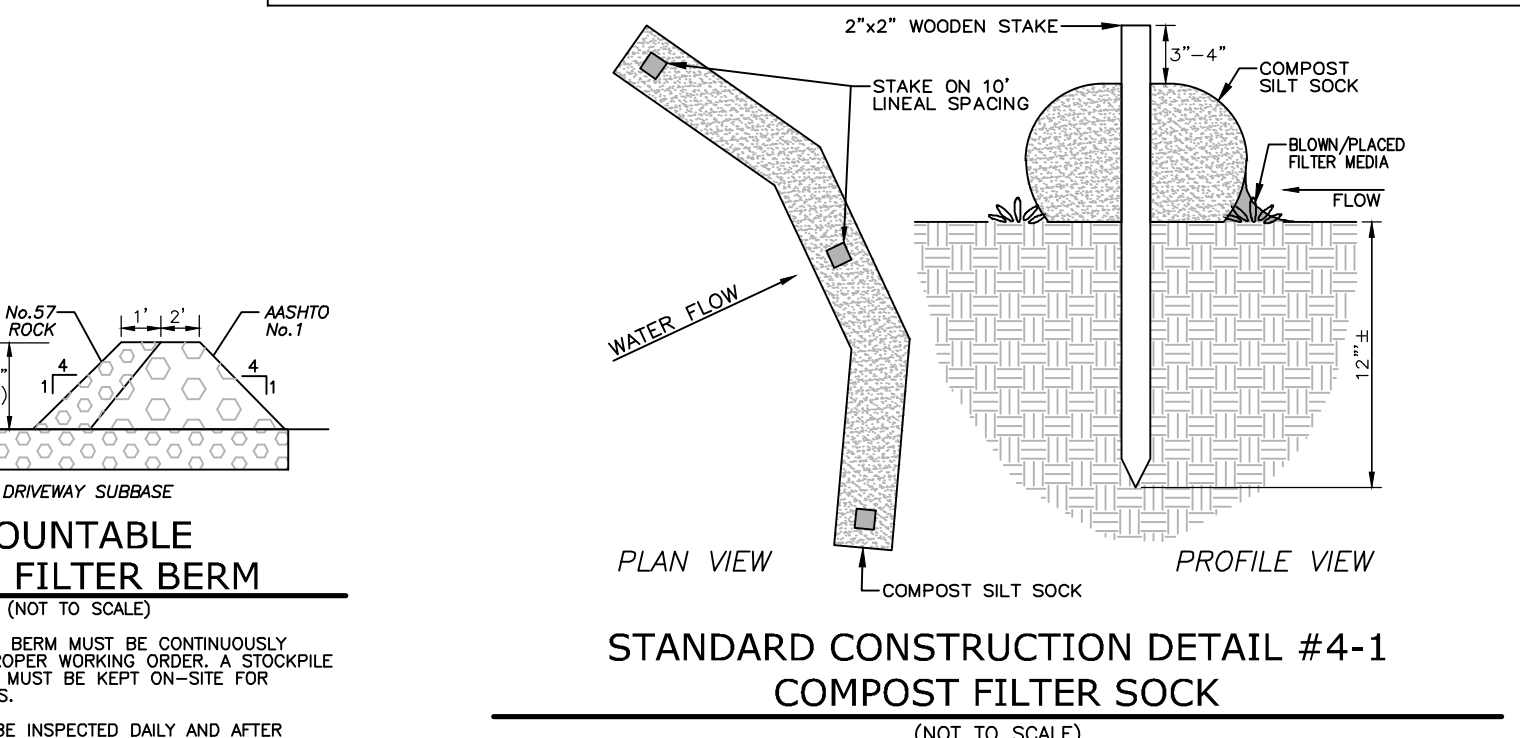
- BLANKETED AREAS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL PERENNIAL VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM 70% COVERAGE THROUGHOUT THE BLANKETED AREA. DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN A CALENDAR DAYS.

I. SEDIMENT BASIN

- THE BASIN SHALL BE INSPECTED DAILY AND SEDIMENT WILL BE REMOVED FROM THE SEDIMENT TRAP WHEN IT REACHES THE CLEAN OUT ELEVATION.
- SEDIMENT WILL NOT BE ALLOWED TO ENTER TRENCHES OF THE COMMONWEALTH DURING OTHER SEDIMENT REMOVAL OR DISPOSAL. OPERATIONS.
- THE SEDIMENT TRAP SHOULD NOT BE REMOVED UNTIL CONTRIBUTING DRAINAGE AREA IS 70% STABILIZED.

J. SILT FENCE

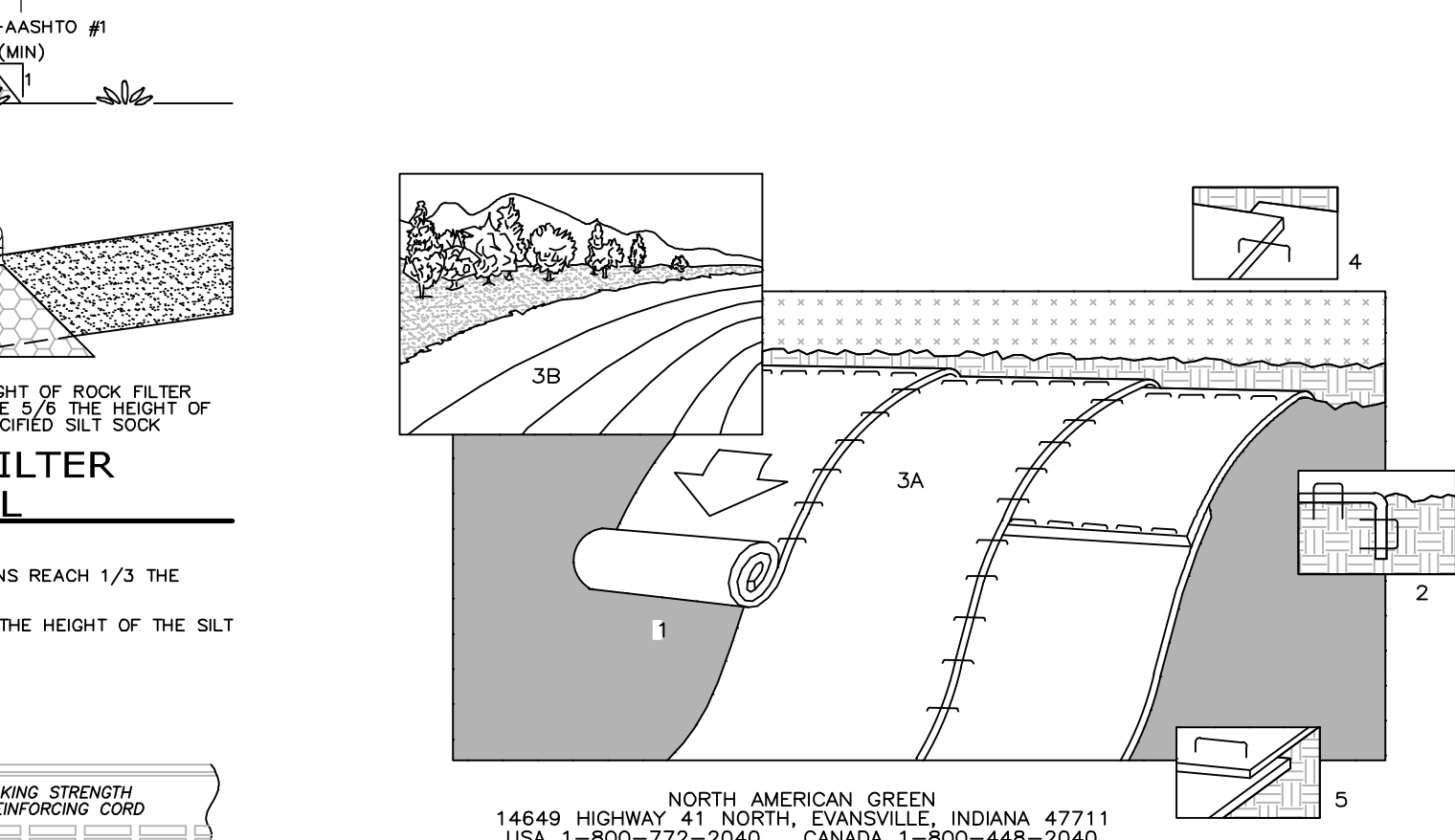
- THE FENCE INSTALLATION SHOULD BE INSPECTED AFTER EACH RUNOFF EVENT. ANY NECESSARY REPAIRS WILL BE MADE IMMEDIATELY.
- ACCUMULATED SEDIMENTS WILL BE REMOVED AS REQUIRED TO KEEP THE FENCE FUNCTIONAL. IN ALL CASES REMOVE DEPOSITS WHERE ACCUMULATIONS REACH 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.
- ANY FENCE SECTION WHICH HAS BEEN UNDERMINED OR TOPPED MUST BE IMMEDIATELY REPLACED WITH A ROCK FILTER OUTLET.
- ADHERE TO ANY MANUFACTURER'S RECOMMENDATIONS FOR REPLACING FILTER FABRIC FENCE DUE TO WEATHERING.



INSTALLATION NOTES:
 SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL.
 COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.
 COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.
 TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.

INSPECTION/MAINTENANCE NOTES:
 ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.
 COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.
 BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.



GEOTEXTILE BLANKET SLOPE INSTALLATION (NO SCALE)

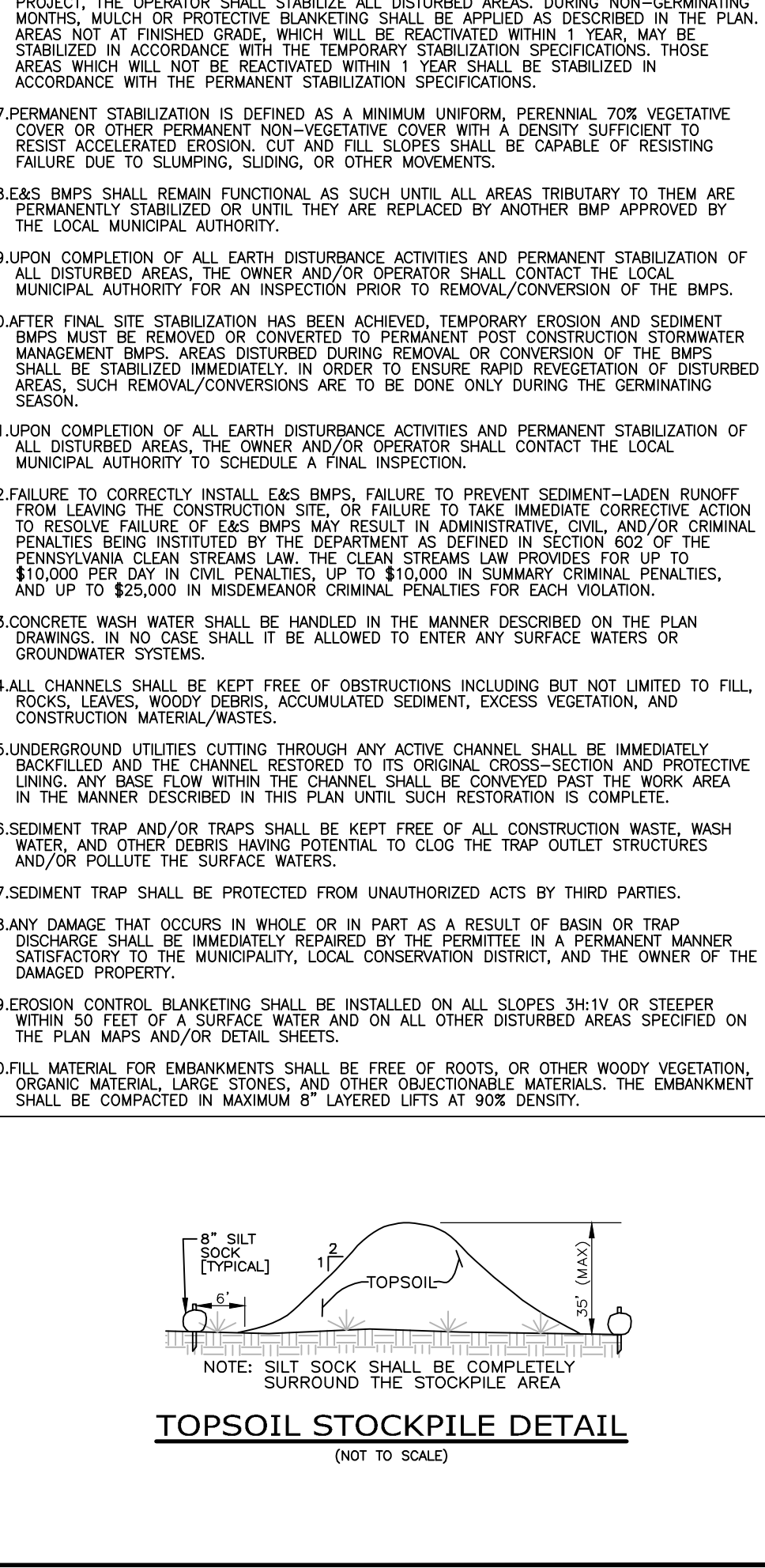
SLOPE INSTALLATION NOTES:

- PREPARE SLOPE BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
- ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE.
- THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
- WHEN BLANKETS MUST BE SPACED FROM THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.

TOPSOIL STOCKPILE DETAIL (NOT TO SCALE)

GENERAL EROSION & SEDIMENTATION POLLUTION CONTROL MEASURES:

- ALL EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE CONDUCTED IN ACCORDANCE WITH THE APPROVED E&S PLAN. A COPY OF THE APPROVED DRAWINGS (STAMPED, SIGNED AND DATED BY THE REVIEWING AGENCY) MUST BE AVAILABLE AT ALL TIMES AND MADE AVAILABLE TO THE DISTRICT UPON REQUEST. THE PCSM PLAN PREPARER & THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT TO AN ON-SITE PRECONSTRUCTION MEETING.
- AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL INWRITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, AND THE LOCAL MUNICIPAL PLAN PREPARER & THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT TO AN ON-SITE PRECONSTRUCTION MEETING.
- AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM, INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM THE LOCAL MUNICIPAL AUTHORITY PRIOR TO IMPLEMENTATION.
- AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIALS.
- CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE E&S BMP'S SPECIFIED BY THE BMP SEQUENCE FOR THAT STAGE OR PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS E&S PLAN.
- AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS.
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION SHOWN ON THE PLAN MAPS. THE APPROVED E&S PLAN SHALL COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE COVERED WITH A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILE SLOPES SHALL BE 2H:1V OR FLATTER.
- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENTATION, THE OPERATOR SHALL IMMEDIATELY APPROPRIATE MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE LOCAL MUNICIPAL AUTHORITY.
- ALL BUILDING MATERIALS AND WASTE SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DESTROYED IN ACCORDANCE WITH THE DEPARTMENT'S WASTE MANAGEMENT REGULATIONS AT 25 PA CODE 260.1 ET SEQ., 271.1, AND 287.1 ET SEQ. NO BUILDING MATERIALS OR WASTE OR UNUSABLE BUILDING MATERIALS SHALL BE BURIED, BURNED, DUMPED, OR DISCHARGED AT THE SITE.
- ALL OFF-SITE WASTE AND BORROW AREAS MUST HAVE AN E&S PLAN APPROVED BY THE LOCAL MUNICIPAL AUTHORITY PRIOR TO BEING ACTIVATED.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN. ALL MATERIALS BROUGHT ON SITE MUST BE MAINTAINED ON THE PROPERTY AND BE MAINTAINED AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING.
- ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE DEPARTMENT'S REGULATIONS AND THE PLAN MAPS. OVER UNDISTURBED VEGETATED AREAS.
- UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMP'S SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT BMP'S AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADE, RESEEDING, REMULCHING AND RETENING, MUST BE PERFORMED IMMEDIATELY. IF EROSION AND SEDIMENTATION BMP'S FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMP'S OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
- ALL SHOWING DATES THAT E&S BMP'S WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE PLAN AND BE MADE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION.
- SEDIMENT TRACKED ON ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND THROUGHOUT THE DAY AS NECESSARY TO PREVENT ACCUMULATIONS OF SEDIMENT ON THE ROADWAY OR SIDEWALK. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELLED, OR SWEEPED INTO ANY ROADSIDE DITCH, STORM SEWER, OR SUBSURFACE WATER.
- ALL SEDIMENT REMOVED FROM BMP'S SHALL BE DISPOSED OF IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS.
- AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES - 6 TO 12 INCHES ON COMPACTED SOILS - PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTSLOPES SHALL HAVE A MINIMUM OF 2 INCHES OF TOPSOIL.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER POTENTIAL FAILURE. ALL RELATED TO SUPPORT BUILDINGS, OTHER STRUCTURES AND CONDUCES, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
- ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
- FILLS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY EROSION CONTROL STRUCTURES.
- FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
- FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER METHOD.
- ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPLETE BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEDED AREAS WITHIN 50 FEET OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE STABILIZED ACCORDING TO THE STANDARD AND SPECIFICATION FOR EROSION CONTROL.
- IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS. DURING NON-GERMINATING MONTHS, EROSION CONTROL MATTING SHALL BE APPLIED AS DESCRIBED IN THE PLAN MAPS. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN 1 YEAR, MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN 1 YEAR SHALL BE PERMANENTLY STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.
- PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION, CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR OTHER MOVEMENTS.
- E&S BMP'S SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY THE LOCAL MUNICIPAL AUTHORITY.
- UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL MUNICIPAL AUTHORITY FOR AN INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE BMP'S.
- AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMP'S MUST BE REMOVED OR CONVERTED TO PERMANENT POST CONSTRUCTION STORMWATER MANAGEMENT BMP'S. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF BMP'S SHALL BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS, SUCH REMOVAL/CONVERSIONS ARE TO BE DONE ONLY DURING THE GERMINATING SEASON.
- UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL MUNICIPAL AUTHORITY TO SCHEDULE A FINAL INSPECTION.
- FAILURE TO CORRECTLY INSTALL E&S BMP'S, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF E&S BMP'S MAY RESULT IN ADMINISTRATIVE, CIVIL PENALTIES OR CRIMINAL PENALTIES BEING INSTITUTED BY THE DEPARTMENT AS DEFINED IN SECTION 602 OF THE PENNSYLVANIA CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION.
- CONCRETE WASH WATER SHALL BE HANDLED IN THE MANNER DESCRIBED ON THE PLAN DRAWING. FILL IN NO CASE SHALL IT BE ALLOWED TO ENTER ANY SURFACE WATERS OR GROUNDWATER SYSTEMS.
- ALL CHANNELS SHALL BE KEPT FREE OF OBSTRUCTIONS INCLUDING BUT NOT LIMITED TO FILL, ROCKS, LEAVES, WOODY DEBRIS, ACCUMULATED SEDIMENT, EXCESS VEGETATION, AND CONSTRUCTION MATERIAL/WASTES.
- UNDERGROUND UTILITIES CUTTING THROUGH ANY ACTIVE CHANNEL SHALL BE IMMEDIATELY BACKFILLED AND THE CHANNEL RESTORED TO ITS ORIGINAL CROSS-SECTION AND PROTECTIVE LINING. ANY BASE WIRE WITHIN THE CHANNEL SHALL BE COVERED FAST BY THE WORK AREA IN THE MANNER DESCRIBED IN THIS PLAN UNTIL SUCH RESTORATION IS COMPLETE.
- SEDIMENT TRAP AND/OR TRAPS SHALL BE KEPT FREE OF ALL CONSTRUCTION WASTE, WASH WATER, AND OTHER DEBRIS HAVING POTENTIAL TO CLOG THE TRAP OUTLET STRUCTURES AND/OR POLLUTE THE SURFACE WATERS.
- SEDIMENT TRAP SHALL BE PROTECTED FROM UNAUTHORIZED ACTS BY THIRD PARTIES.
- ANY DAMAGE THAT OCCURS IN WHOLE OR IN PART AS A RESULT OF BASIN OR TRAP DISCHARGE SHALL BE IMMEDIATELY REPAIRED BY THE PERMITEE IN A PERMANENT MANNER SATISFACTORY TO THE MUNICIPALITY, LOCAL CONSERVATION DISTRICT, AND THE OWNER OF THE DAMAGED PROPERTY.
- EROSION CONTROL BLANKETING SHALL BE INSTALLED ON ALL SLOPES 3H:1V OR STEEPER WITHIN 50 FEET OF A SURFACE WATER AND ON ALL OTHER DISTURBED AREAS SPECIFIED ON THE PLAN MAPS AND/OR DETAIL SHEETS.
- EROSION CONTROL BLANKETING SHALL BE FREE OF ROOTS, OR OTHER WOODY VEGETATION, ORGANIC MATERIAL, LARGE STONES, AND OTHER OBJECTIONABLE MATERIALS. THE EMBANKMENT SHALL BE COMPACTED IN MAXIMUM 8" LAYERED LIFTS AT 90% DENSITY.



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PLAN REVISIONS

REV#	DATE	DESCRIPTION OF CHANGES
1	03/19/24	REVISED PER WWT TOWNSHIP REVIEW COMMENTS
2	12/03/25	NO REVISION THIS SHEET
3	12/15/25	REVISED SITE LAYOUT

PROJECT: PRELIMINARY/FINAL LAND DEVELOPMENT PLAN FOR DATA CENTERS

LOCATION:
 215 VALLEY CREEK BLVD.
 EXTON, PA 19341
 WEST WHITLAND TOWNSHIP
 CHESTER COUNTY, PA

PARCELS:
 TAX PARCEL NUMBER:
 41-3-4

CLIENT:
 SENTINEL GREEN FID, LLC
 505 5TH AVE, FLOOR 27
 NEW YORK, NY 10017

PROJECT No.: 1508-B
 SURVEY REF.: 1195-B (DSS)
 DRAWN BY: E.C.R.
 CHECKED BY: J.M.R.
 PLAN DATE: JANUARY 31, 2024
 PLAN SCALE: AS SHOWN

SHEET TITLE:
E&S CONTROL DETAILS
 SHEET NUMBER:
13 OF 13

Plot Date: Sat, Dec. 13, 2025
 File: 15 ER03 DETAILS.DWG