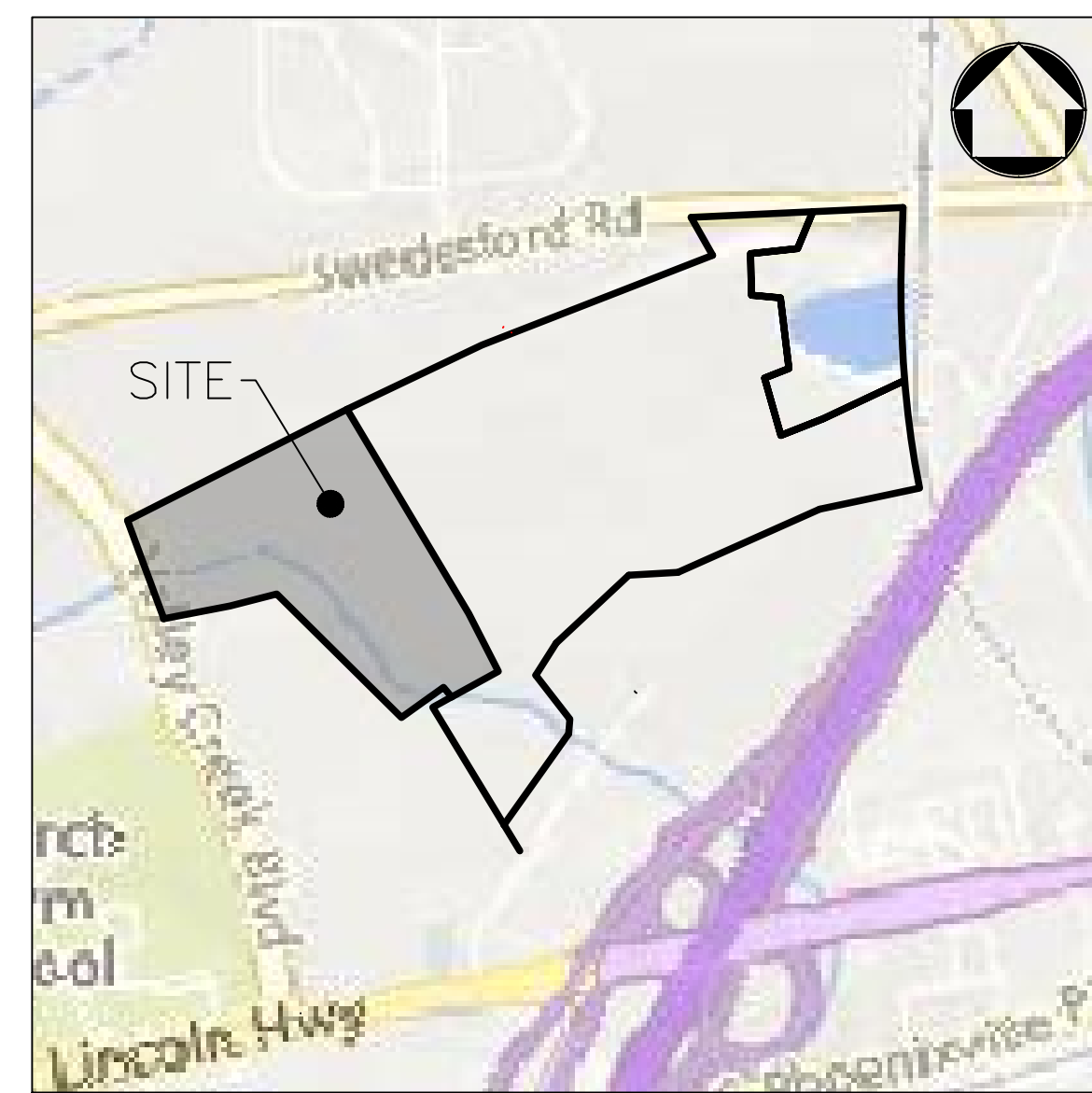


# PRELIMINARY/FINAL LAND DEVELOPMENT PLAN

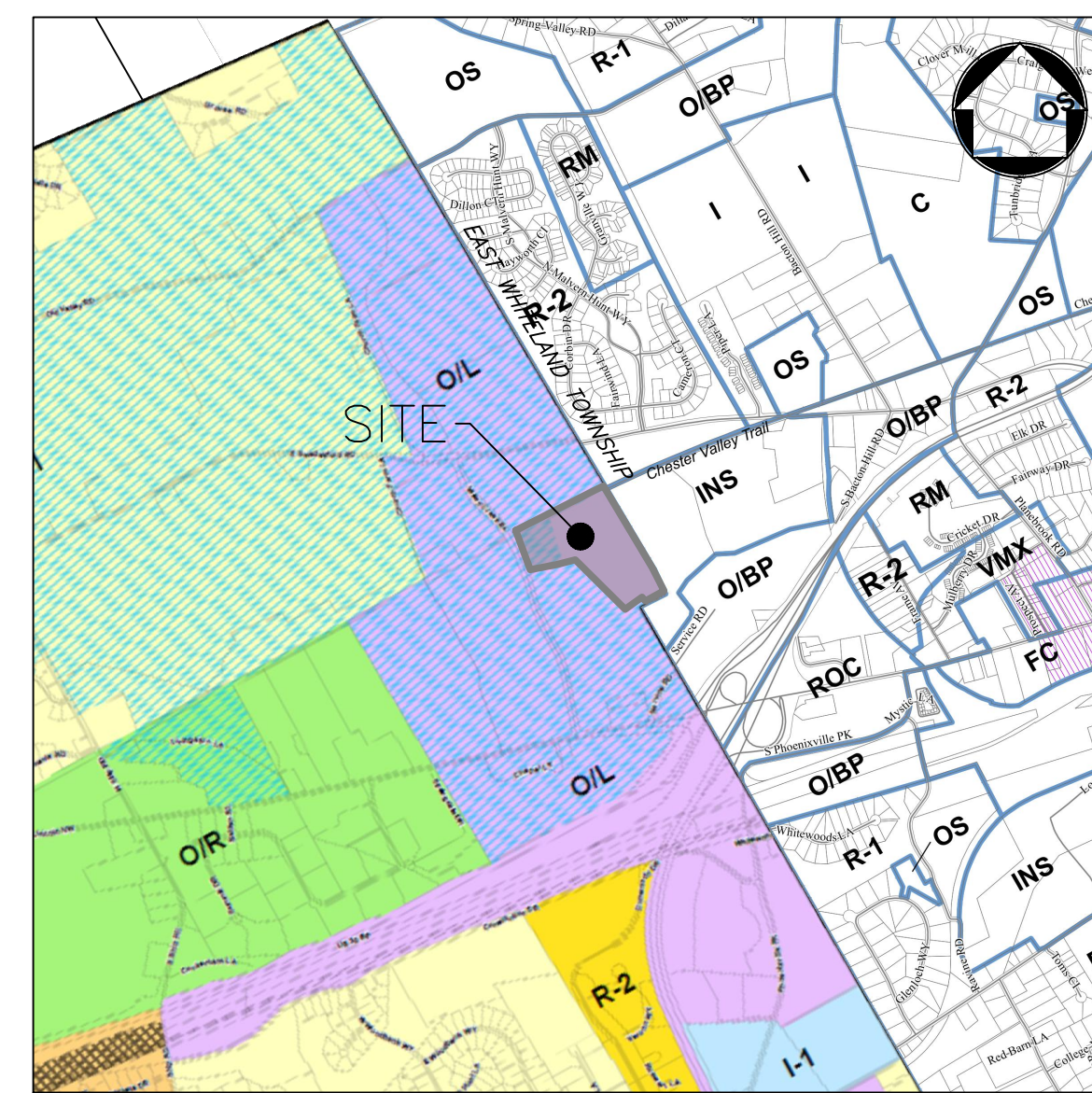
## FOR

# THE DATA CENTERS

TAX MAP U.P.I. NUMBER: 41-3-4  
 O/L OFFICE/LABORATORY USE ZONING DISTRICT  
 215 VALLEY CREEK BOULEVARD ~ WEST WHITELAND TOWNSHIP  
 CHESTER COUNTY ~ STATE OF PENNSYLVANIA



**LOCATION MAP** SCALE: 1" = 800'  
 WEST WHITELAND TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA  
 QUADRANGLE: MALVERN



**ZONING MAP** SCALE: 1" = 2,000'  
 WEST WHITELAND TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA  
 COURTESY: WEST WHITELAND TOWNSHIP



**AERIAL MAP** SCALE: 1" = 1,000'  
 WEST WHITELAND TOWNSHIP - CHESTER COUNTY - PENNSYLVANIA  
 COURTESY: PENNSYLVANIA SPATIAL DATA ACCESS (PASDA)

SHEET INDEX	
S-1	COVER SHEET
S-2	SITE PLAN
S-3	EX. CONDITIONS, CONSERVATION & DEMOLITION PLAN
S-4	GRADING & UTILITIES PLAN
S-5	PCSM PLAN
S-6	PCSM PLAN
S-7	E&S CONTROL PLAN
S-8	E&S CONTROL PLAN
S-9	LANDSCAPE PLAN
S-10	PROFILES
S-11	PCSM DETAILS
S-12	PCSM DETAILS
S-13	E&S CONTROL DETAILS

NOTE: SEE PLANS FOR EAST WHITELAND TOWNSHIP FOR ADDITIONAL OFF-SITE DESIGN INFORMATION.

PERMITTING REQUIREMENTS		
PERMIT	ACTIVITY	AGENCY
1. NPDES	DISTURBANCE	CCCD & PA DEP
2. WEST WHITELAND TOWNSHIP FIRE MARSHALL	SITE APPROVAL	WEST WHITELAND TOWNSHIP

**SWM AND E&S REPORT NOTE**  
 THESE PLANS HAVE BEEN PREPARED IN CONJUNCTION WITH THE "PCSM NARRATIVE AND REPORT" PREPARED BY JMR ENGINEERING, LLC DATED NOVEMBER 10, 2023, AS AMENDED.  
 THESE PLANS HAVE BEEN PREPARED IN CONJUNCTION WITH THE "E&S NARRATIVE AND REPORT" PREPARED BY JMR ENGINEERING, LLC DATED JANUARY 31, 2024, AS AMENDED.

**DESIGNER CERTIFICATION**  
 I, JOHN M. ROBINSON, P.E., HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE COMMONWEALTH OF PENNSYLVANIA AND THAT THESE PLANS ARE IN CONFORMITY WITH ENGINEERING, ZONING, SUBDIVISION, BUILDING, SANITARY AND OTHER APPLICABLE TOWNSHIP ORDINANCES AND REGULATIONS, EXCEPT AS NOTED.  
 Signature: John M. Robinson DATE: 2/3/2026

**COMMONWEALTH OF PENNSYLVANIA COUNTY OF CHESTER**  
 ON THIS, THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED \_\_\_\_\_ RESPONSIBLE OFFICIAL FROM SENTINEL GREEN FIG, LLC, WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT THEY ARE THE OWNERS OF THE PROPERTY SHOWN ON THIS PLAN, THAT THE PLAN THEREOF WAS MADE AT THEIR DIRECTION, THAT THEY ACKNOWLEDGE THE SAME TO BE RECORDED, AND THAT ALL STREETS AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC PROPERTY (EXCEPTING THOSE AREAS LABELED "NOT FOR DEDICATION") WILL BE OFFERED FOR DEDICATION.  
 \_\_\_\_\_ (SENTINEL GREEN FIG, LLC OFFICIAL)  
 SWORN TO AND SUBSCRIBED BEFORE ME THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.  
 \_\_\_\_\_ (NOTARY PUBLIC)

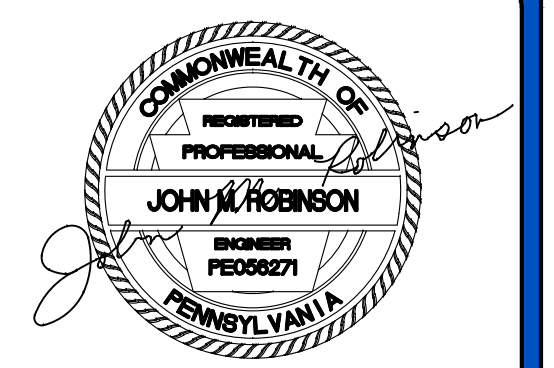
**APPROVALS**  
**BOARD OF SUPERVISORS**  
 APPROVED BY THE BOARD OF SUPERVISORS OF WEST WHITELAND TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA, THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

APPROVED BY THE PLANNING COMMISSION OF WEST WHITELAND TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA, THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

**CHESTER COUNTY PLANNING COMMISSION**  
 THIS PLAN WAS REVIEWED BY THE CHESTER COUNTY PLANNING COMMISSION ON THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.  
 \_\_\_\_\_ (CCPC FILE NUMBER)  
 \_\_\_\_\_ (PLANNING COMMISSION SECRETARY)

**CHESTER COUNTY RECORDER OF DEEDS**  
 RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF CHESTER COUNTY AT WEST CHESTER, PENNSYLVANIA, IN PLAN BOOK \_\_\_\_\_, PAGE \_\_\_\_\_ ON THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.  
 \_\_\_\_\_ (DEPUTY RECORDER OF DEEDS)

**JMR ENGINEERING, LLC**  
 PROFESSIONAL CIVIL ENGINEERING • LAND PLANNING SERVICES  
 108 SCHUBERT DRIVE ~ DOWNTOWN, PA 19335  
 VOICE: (484) 880-7342  
 EMAIL: ADMIN@JMRENGINEERING.COM  
 WEBSITE: WWW.JMRENGINEERING.COM



**JOHN M. ROBINSON**  
 PROFESSIONAL ENGINEER  
 PENNSYLVANIA LICENSE NO. PE056271

**UTILITY USERS LIST**

USERS	RESPONSES
AQUA PENNSYLVANIA, INC.	
TEXAS EASTERN TRANSMISSION, LP	
AT&T LOCAL SERVICES	
TRANSCONTINENTAL GAS PIPELINE	
BUCKEYE PARTNERS	
VERISON PENNSYLVANIA, INC.	
COMCAST CABLE	
WEST WHITELAND TOWNSHIP	
COMCAST CABLE COMMUNICATIONS, INC.	
WITEL COMMUNICATIONS, LLC	
EAST WHITELAND TOWNSHIP	
LEVEL3 COMMUNICATIONS	
PECO ENERGY	
FPL INTERSTATE ENERGY COMPANY	
SUNCO'S, INC.	
SUNOCO PIPELINE, LP	

**CALL BEFORE YOU DIG!**  
 PENNSYLVANIA LAW REQUIRES THE CONTRACTOR TO NOTIFY UNDERGROUND UTILITY USERS AT LEAST 3 DAYS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. JMR ENGINEERING, LLC DOES NOT GUARANTEE THE ACCURACY OF THE LOCATION OR DEPTH OF UTILITY LINES SHOWN. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITY LINES PRIOR TO CONSTRUCTION.  
 1-800-242-1776  
 POC'S SERIAL NUMBER: 20180261664 (WWT), 20180261665 (CWT)

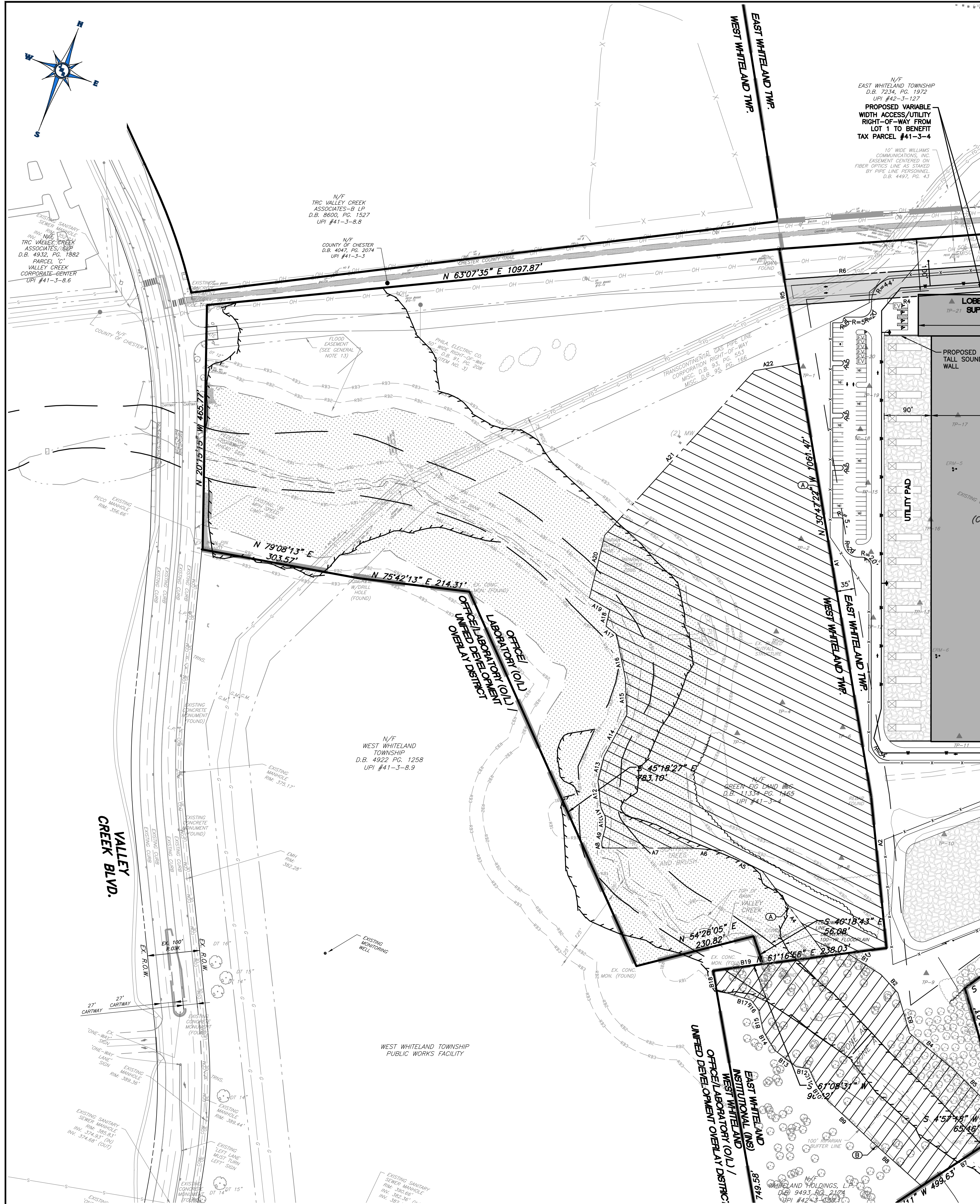
**PLAN REVISIONS**

REV#	DATE	DESCRIPTION OF CHANGES
1	03/19/24	REVISED PER WWT TOWNSHIP REVIEW COMMENTS
2	12/03/25	NO REVISION THIS SHEET
3	12/15/25	REVISED SITE LAYOUT
4	02/03/26	UPDATED MRC CONVEYANCE NETWORKS

**PROJECT:**  
**PRELIMINARY/FINAL LAND DEVELOPMENT PLAN FOR DATA CENTERS**  
 LOCATION:  
 215 VALLEY CREEK BLVD.  
 EXTON, PA 19341  
**WEST WHITELAND TOWNSHIP CHESTER COUNTY, PA**  
 PARCELS:  
**TAX PARCEL NUMBER: 41-3-4**  
 CLIENT:  
**SENTINEL GREEN FIG, LLC**  
 505 5TH AVE, FLOOR 27  
 NEW YORK, NY 10017

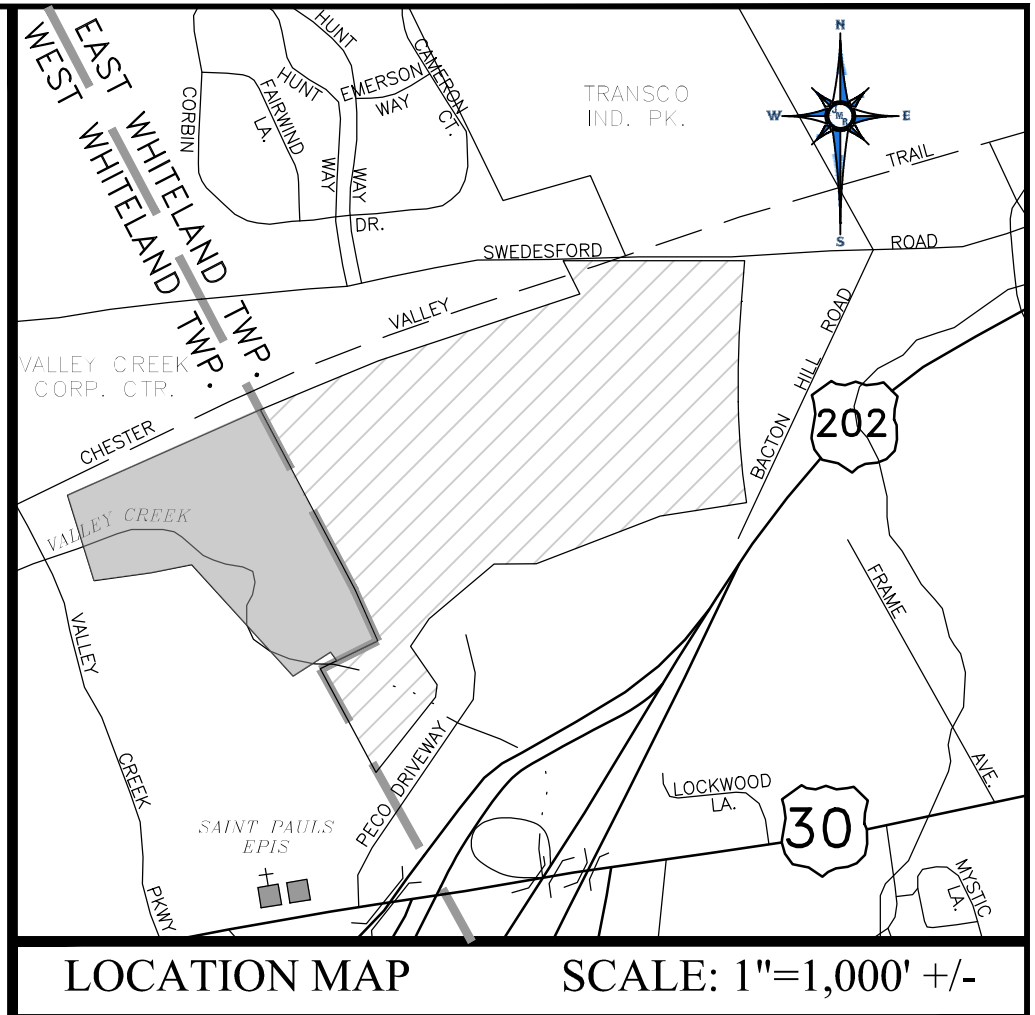
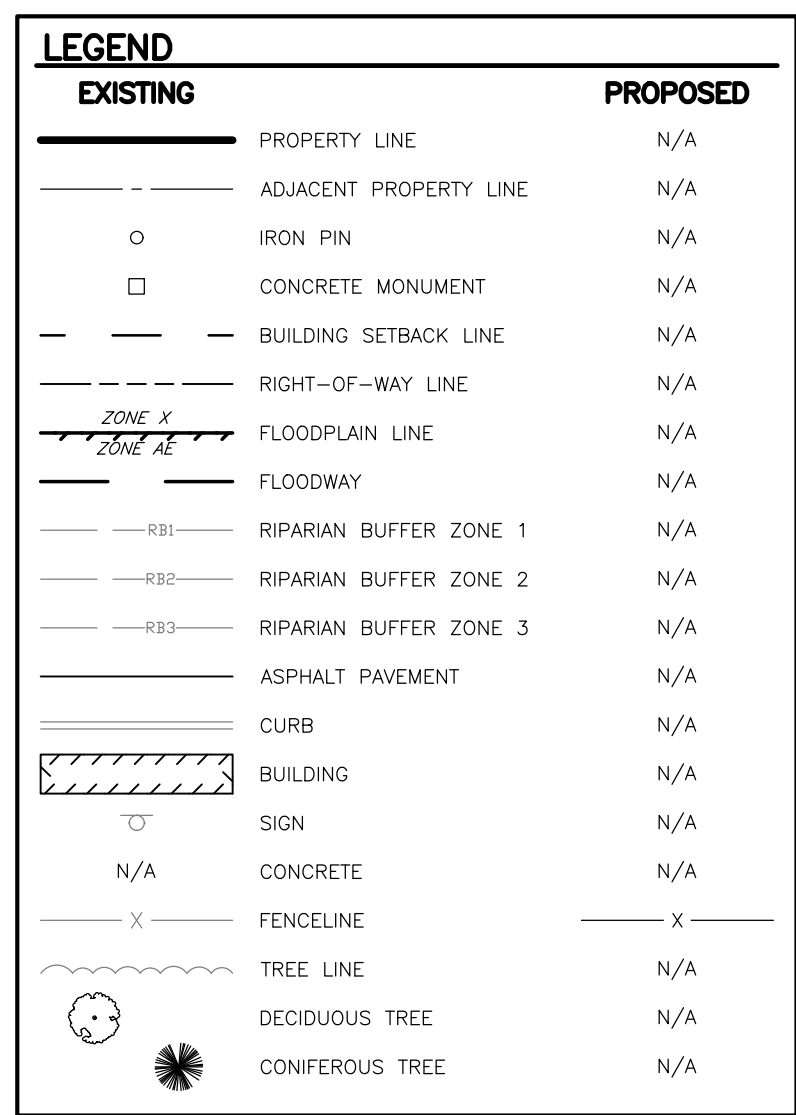
PROJECT No.: 1508-B  
 SURVEY REF.: 1195-B (DSS)  
 DRAWN BY: E.C.R.  
 CHECKED BY: J.M.R.  
 PLAN DATE: JANUARY 31, 2024  
 PLAN SCALE: AS NOTED

SHEET TITLE:  
**COVER SHEET**  
 SHEET NUMBER:  
**1 OF 13**



**ACCESS & UTILITY EASEMENT TABLE**

LINE	BEARING	LENGTH
A1	S 30°47'22" E	839.92'
A2	S 27°05'32" E	290.26'
A3	S 61°16'07" W	116.13'
A4	N 58°17'19" W	202.82'
A5	N 83°53'03" W	85.10'
A6	S 73°27'47" W	57.10'
A7	S 68°52'41" W	173.46'
A8	N 26°26'31" W	10.72'
A9	N 72°19'19" W	30.00'
A10	N 22°22'41" W	20.00'
A11	N 45°48'56" W	20.00'
A12	N 27°49'07" W	50.00'
A13	N 7°04'36" W	50.00'
A14	N 72°15'59" E	90.00'
A15	N 23°52'34" W	70.00'
A16	N 32°50'51" W	85.00'
A17	N 73°13'44" W	25.00'
A18	N 8°41'38" W	32.00'
A19	N 80°37'50" W	45.00'
A20	N 7°32'09" W	123.34'
A21	N 21°03'46" E	425.00'
A22	N 59°12'36" E	85.00'



**GENERAL NOTES**

- OWNER / APPLICANT: SENTINEL GREEN FIG, LLC, C/O JOSHUA RABINA, 505 5TH AVE., FLOOR 27, NEW YORK, NY 10017
- PARCEL DATA: 215 VALLEY CREEK BLVD, EXTON, PA 19341, PARCEL: 41-3-4, D.B. 11519, P.C. 2018 DEE, TRACT AREA: 25.067 AC
- BOUNDARY INFORMATION IS FROM A FIELD SURVEY PERFORMED BY DIENER SURVEYING SERVICES, LLC, AND AMERICAN LAND TITLE ASSOCIATION (A.L.T.A.) PLAN BY DIENER SURVEYING SERVICES, LLC AND JMR ENGINEERING, LLC DATED MAY 18, 2018.
- EXISTING FEATURES AND TOPOGRAPHIC INFORMATION SHOWN ON SUBJECT PARCELS FROM PHYSICAL FIELD SURVEY PROVIDED BY DIENER SURVEYING SERVICES, MAY 2017.
- DATUM: HORIZONTAL: NAD 1983, VERTICAL: NGVD 1929
- BENCHMARK: 1.7 MILES SOUTHWEST OF FRAZER ALONG PENNSYLVANIA RAILROAD BRIDGE AT THE GLENDOCH STATION AT NORTHERN MOST RAILROAD BRIDGE OVER PHOENIXVILLE PIKE AT THE SOUTHWEST WING WALL, STANDARD DISK STAMPED K 106 1935, ELEVATION=431.93, DATUM: NGVD 1929.
- THE SUBJECT PARCEL LIES PARTIALLY WITHIN ZONE AE AS SCALED FROM THE NATIONAL FLOOD INSURANCE RATE MAP NO. 4229201550, WITH A MAP REVISION DATE OF SEPTEMBER 29, 2017. THE FLOODPLAIN LINE DEPICTED ON THIS PLAN HAS BEEN DELINEATED BASED UPON FIELD VERIFIED TOPOGRAPHIC SURVEY INFORMATION. THE DELINEATION HAS UTILIZED A CONVERSION FROM FIELD SURVEY (NAD 83) TO PROJECT DATUM ELEV. (NGVD 29) OF 1.017 FT.
- UNDERGROUND UTILITIES ARE SHOWN AS APPROXIMATE. NO GUARANTEE IS MADE THAT UNDERGROUND UTILITIES ARE ACCURATELY OR COMPLETELY SHOWN HEREON. THE SITE CONTRACTOR MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES PRIOR TO BEGINNING CONSTRUCTION.
- THE DEVELOPER SHALL NOTIFY UNDERGROUND UTILITY OWNERS AT LEAST THREE DAYS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION IN ACCORDANCE WITH PA ACT 287 OF 1974, AS AMENDED BY ACT 109 OF 2004 & ALL OTHER APPLICABLE AMENDMENTS, AS WELL AS CONFORM TO APPLICABLE REGULATIONS OF SAID ACTS. UNDERGROUND UTILITIES SHOWN ARE FROM SURFACE EVIDENCE OBSERVABLE IN THE FIELD AND AS MARKED BY THE UTILITY COMPANIES.
- THE ENTIRE SITE IS UNDERLAIN WITH SOILS CLASSIFIED AS (C1B) CONESTOGA SILT LOAM, 3 TO 8 PERCENT SLOPES; SOILS CLASSIFICATIONS FROM THE UNITED STATES DEPARTMENT OF AGRICULTURE (USDA) NATURAL RESOURCE CONSERVATION DISTRICT WEB SOIL SURVEY, JULY 2017.
- THE EXISTING CONSERVATION EASEMENT SHOWN WITHIN THE RIPARIAN BUFFER OF VALLEY CREEK HAS BEEN TAKEN FROM THE PLAN ENTITLED "CONSERVATION EASEMENT PLAN FOR WHITELAND TOWNSHIP", PREPARED BY EDWARD B. WALSH & ASSOCIATES, INC. DATED JANUARY 24, 2007.
- THE WETLANDS DELINEATION HAS BEEN PLOTTED FROM CROSSER/ERICH PLAN AND SUPPLEMENTED WITH FIELD REVIEW BY DELVAL SOIL CONSULTANTS, INC. DOLYESTOWN, PA.
- THE SITE IS LOCATED WITHIN THE VALLEY CREEK WATERSHED CWF (COLD WATER FISHERY) WATERSHED; TAKEN FROM DEP CODE TITLE 25, CHAPTER 93.
- THE FLOOD EASEMENT DEPICTED ON THE PLAN HAS BEEN SHOWN BASED UPON THE PLAN PREPARED BY EDWARD B. WALSH & ASSOCIATES ENTITLED "FINAL LAND DEVELOPMENT PLAN FOR WHITELAND VILLAGE" DATED APRIL 8, 2009 AND REVISED MARCH 12, 2007.
- THE EXISTING TRANSCONTINENTAL PIPELINE IS SHOWN PER FIELD STAKING OF EXISTING PIPELINE AND RIGHT-OF-WAY BY FRANCO ENGINEERING, LLC FIELD SURVEYED BY DIENER SURVEYING SERVICES, LLC AND SHOWN ON A.L.T.A. PLAN NOTED IN GENERAL NOTE #3.
- NO DEBRIS SHALL BE BURIED ON THIS SITE. ALL DEBRIS SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE TOWNSHIP, COUNTY, STATE AND FEDERAL LAWS AND REQUIREMENTS.
- AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER AND/OR ANY OTHER PERMANENT, NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER SUBSURFACE MOVEMENTS.
- ALL PROPOSED STORMWATER MANAGEMENT FACILITIES ARE PERMANENT. MAINTENANCE OF PERMANENT STORMWATER MANAGEMENT FACILITIES WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- THE DEVELOPER SHALL CONFORM TO OR CAUSE CONFORMANCE WITH ALL APPLICABLE REQUIREMENTS OF THIS PLAN AND THE WEST WHITELAND TOWNSHIP ZONING ORDINANCE AND SUBDIVISION AND LAND DEVELOPMENT ORDINANCE AS WELL AS OTHER APPLICABLE LOCAL, STATE AND FEDERAL LAWS, STATUTES, REGULATIONS AND ORDINANCES.
- ALL WORK WITHIN THE REGULATED FLOODPLAIN SHALL BE COMPLETED IN ACCORDANCE WITH ARTICLE XII TOWNSHIP OF THE WEST WHITELAND TOWNSHIP ZONING ORDINANCE, AS WELL AS STATE AND FEDERAL REGULATIONS.
- ALL STORAGE SHALL BE IN ACCORDANCE WITH §325-35 OF THE WEST WHITELAND TOWNSHIP ZONING ORDINANCE.
- THE ESTIMATED CONSTRUCTION TIMELINE FOR THIS PROJECT IS FOR WORK TO BEGIN IN SUMMER 2026 AND BE COMPLETED BY SUMMER 2027.
- PLAN PURPOSE: THE PURPOSE OF THIS PLAN IS TO PERMIT A STORMWATER MANAGEMENT WET POND FOR THE PROPOSED DEVELOPMENT ON THE ADJACENT EAST WHITELAND TOWNSHIP PARCEL. THE REFERENCED PLANS ARE IDENTIFIED AS THE PRELIMINARY/FINAL LAND DEVELOPMENT PLAN FOR DATA CENTERS, PROJECT #1508, BY JMR ENGINEERING, LLC, DATED NOVEMBER 10, 2023, AS AMENDED.
- REPRESENTATIVES OF WEST WHITELAND TOWNSHIP AND/OR OTHER GOVERNMENTAL AUTHORITIES SHALL HAVE PERMISSION TO GAIN ACCESS TO THE STORMWATER FACILITIES THROUGH A BLANKET EASEMENT OVER THE PROPERTY TO PERFORM INSPECTIONS, MAINTENANCE AND REPAIRS OF ALL STORMWATER FACILITIES, AS NECESSARY. WEST WHITELAND TOWNSHIP HAS THE RIGHT, BUT NOT THE DUTY, TO ENTER THE PROPERTY TO MAINTAIN THE FACILITIES AND ANY REASONABLE COSTS INCURRED AS PART OF THE MAINTENANCE, AND/OR REPAIRS SHALL BE THE RESPONSIBILITY OF THE LANDOWNER.
- THE PROPERTY OWNER SHALL SIGN AND RECORD A MAINTENANCE AGREEMENT COVERING ALL STORMWATER MANAGEMENT FACILITIES THAT ARE TO BE PRIVATELY OWNED. THE MAINTENANCE AGREEMENT SHALL BE TRANSFERRED WITH TRANSFER OF OWNERSHIP OF THE PROPERTY.

**ZONING INFORMATION**  
**WEST WHITELAND TOWNSHIP**  
**§325-15 OFFICE LABORATORY DISTRICT (O/L)**

IN ACCORDANCE WITH §325-15.B.5, USES ALLOWED BY ARTICLE X, INSTITUTIONAL DISTRICT, SUBJECT TO COMPLIANCE WITH THE PROVISIONS OF THIS ARTICLE, THE PROPOSED BULK AND AREA REGULATIONS ARE IN ACCORDANCE WITH DEVELOPMENT REGULATIONS LISTED UNDER §325-45.C FOR THE PROPOSED USE OF MUNICIPAL BUILDINGS, OFFICES, GARAGES, AND OTHER MUNICIPAL USES ALLOWED BY §325-45.B.6.

AREA AND BULK REGULATIONS	REQUIRED	PROPOSED
LOT AREA	4.00 AC	25.07 AC
MINIMUM LOT WIDTH AT BUILDING LINE	100 FEET	±37.5 FT.
MAXIMUM IMPERVIOUS COVERAGE	50% TOTAL LOT AREA <sup>(1)</sup>	0%
MAXIMUM HEIGHT	35 FEET	N/A
PUBLIC SEWER AND WATER	REQUIRED	NO DEVELOPMENT PROPOSED
MINIMUM BUILDING SETBACK FROM R.O.W.	50 FEET	N/A
MINIMUM SETBACK FROM PROPERTY LINE	50 FEET	N/A
FROM INTERIOR DRIVES OR PARKING LOTS EXCEPT IN AREAS REQUIRED FOR LOADING OR PASSENGER DROP OFF	15 FEET	N/A
FROM ADJACENT BUILDINGS	SEE NOTE <sup>(2)</sup>	N/A
MINIMUM PARKING SETBACK	25 FEET	N/A

<sup>(1)</sup> THE REMAINING LOT AREA SHALL BE USED FOR AND MAINTAINED AS LANDSCAPED OPEN SPACE, A RECREATIONAL AREA, WOODLANDS, OR SIMILAR NONINTENSIVE USE.  
<sup>(2)</sup> DISTANCE EQUAL TO HEIGHT OF TALLER BUILDING

**CONDITIONAL USE**

§325-70(a)(2)(b) THE BOARD OF SUPERVISORS MAY PERMIT BY CONDITIONAL USE THE EXEMPTION OF MAN-MADE STEEP SLOPES (E.G., MAN-MADE SLOPES WITHIN A STREET OR RAILROAD RIGHT-OF-WAY) EQUAL TO OR GREATER THAN 1,000 SQUARE FEET IN AREA WHEN IT DETERMINES THAT CONSTRUCTION, DEVELOPMENT OR IMPROVEMENT WITHIN THE MAN-MADE SLOPE WILL NOT BE INCONSISTENT WITH THE PURPOSE OF §325-68 ABOVE AND THE STANDARDS AND CRITERIA IN §325-72B FOLLOWING AND WITHOUT ENVIRONMENTAL DEGRADATION, THE DETERMINATION OF WHAT CONSTITUTES MAN-MADE SLOPES SHALL BE MADE BY THE ZONING OFFICER.

THE PREVIOUS APPLICANT (WEST WHITELAND TOWNSHIP) WAS GRANTED CONDITIONAL USE APPROVAL TO DISTURB MAN-MADE PRECAUTIONARY SLOPES. THE SLOPES WERE CONSTRUCTED DURING A PREVIOUS PROJECT THAT INSTALLED A LARGE STORMWATER MANAGEMENT POND. THIS POND WAS LATER FILLED IN AS PART OF A SEPARATE PROJECT, LEAVING THE DOWNSTREAM RETENTION BERM SLOPES IN PLACE.

**WAIVER REQUESTS**

- §270-15(T)(2)(b) THE APPLICANT IS PROPOSING APPROXIMATELY 820 S.F. OF GRADING AND DISTURBANCE WITHIN RIPARIAN BUFFER ZONE 2 TO CONSTRUCT THE PROPOSED DEVELOPMENT. THERE IS NO PROPOSED IMPERVIOUS LOCATED WITHIN ZONE 2 AND 3.
- §270-20 THE APPLICANT IS REQUESTING RELIEF FROM THE INFILTRATION REQUIREMENTS OF THE NOTED SECTION DUE TO KNOWN SINKHOLE ACTIVITY ON-SITE. IN LIEU OF INFILTRATION, THE APPLICANT IS PROPOSING TO EMPLOY THE MANAGED RELEASE STORMWATER MANAGEMENT CONCEPT TO MEET RECHARGE VOLUME REQUIREMENTS.
- §270-21(D) THE APPLICANT IS PROPOSING TO UTILIZE THE MANAGED RELEASE CONCEPT RAIN GARDENS TO PROVIDE 2-YR VOLUME CREDITS FOR THE PROJECT. THE MANAGED RELEASE CONCEPT, AS SPECIFIED BY PA DEP, MAY HAVE REDUCED ORIFICE SIZES. THE APPLICANT IS PROPOSING A REDUCED ORIFICE TO REMAIN IN COMPLIANCE WITH THE DESIGN STANDARDS OF THE MANAGED RELEASE CONCEPT.
- §281-16(C)(11)(a) THE APPLICANT IS REQUESTING RELIEF FROM THE REQUIREMENT TO LOCATE AND IDENTIFY ALL INDIVIDUAL MATURE TREES OF SIX-INCH AND GREATER DBH WITHIN 50 FEET OF AREAS TO BE DISTURBED, BY SPECIES AND SIZE AS A SITE FIELD SURVEY OF THE PROPERTY HAS NOT BEEN COMPLETED IN 5 YEARS.
- §281-34.G THE PROPERTY WAS PREVIOUSLY PERMITTED THROUGH THE LAND DEVELOPMENT PROCESS TO FILL IN THE STORMWATER BASIN THAT WAS CONSTRUCTED IN THE EARLY 2000'S. AT THAT TIME, A TOTAL OF 98 TREES AND 56 SHRUBS WERE INSTALLED ON THE PROPERTY. MOST OF THE BASIN CONSTRUCTION IS LOCATED IN NONE WOODED AREAS AND ANY TREE REMOVAL WOULD BE MINIMAL.
- §281-35.A & E A 25' PERIMETER BUFFER SETBACK IS PROVIDED ALONG ADJOINING PROPERTY LINES TO THE NORTH, WEST (PERIMETER BUFFER) TO THE NORTH, WEST, SOUTH, AND A SECTION OF THE EASTERN PROPERTY LINE. RELIEF FROM PROVIDING LANDSCAPING IS REQUESTED BASED ON THE BELOW SITE CONDITIONS:
  - THE NORTHERN PROPERTY LINE BUFFER IS WITHIN AN EXISTING PECCO RIGHT-OF-WAY AND 31 RED MAPLES WERE PREVIOUSLY INSTALLED BETWEEN THE PECCO RIGHT-OF-WAY AND THE PROPOSED DRIVEWAY.
  - THE SOUTHWESTERN PROPERTY LINE BUFFER INCLUDES EXISTING VEGETATION THAT WILL REMAIN UNDISTURBED.
  - THE STORMWATER BASINS AND BMPs ARE LANDSCAPED WITH NATIVE MEADOW SEED MIX AND NATIVE SHRUBS PER THE PENNSYLVANIA STORMWATER BEST MANAGEMENT PRACTICES MANUAL, SECTION 6.4.5.
  - THE APPLICANT REQUESTS RELIEF FROM A PORTION OF THE SETBACK AND LANDSCAPE REQUIREMENTS OF THE NOTED SECTION ALONG THE EASTERN PROPERTY LINE WITH EAST WHITELAND TOWNSHIP DUE TO THE ADJACENT INSTITUTIONAL ZONING DISTRICT.

**JMR ENGINEERING, LLC**

PROFESSIONAL CIVIL ENGINEERING • LAND PLANNING SERVICES

108 SCHUBERT DRIVE • DOWNTOWN, PA 19335

VOICE: (484) 880-7342

EMAIL: ADMIN@JMRENGINEERING.COM

WEBSITE: WWW.JMRENGINEERING.COM

JOHN M. ROBINSON, PROFESSIONAL ENGINEER, PENNSYLVANIA LICENSE NO. PE056271

**UTILITY USERS LIST**

USERS: AQUA PENNSYLVANIA, INC.; TYKAS EASTERN TRANSMISSION, LP; AT&T LOCAL SERVICES; TRANSCONTINENTAL GAS PIPELINE; BUCCOYE PARTNERS; VERISON PENNSYLVANIA, INC.; COMCAST CABLE; WEST WHITELAND TOWNSHIP; COMCAST CABLE COMMUNICATIONS, INC.; WILET COMMUNICATIONS, LLC; EAST WHITELAND TOWNSHIP; LEVELS COMMUNICATIONS; PECCO ENERGY; FPL INTERSTATE ENERGY COMPANY; SUNOCO PIPELINE, LP.

RESPONSES: [Blank]

**CALL BEFORE YOU DIG!**

1-800-242-1776

POCS SERIAL NUMBER: 20180261664 (WWT), 20180261665 (CWT)

**PLAN REVISIONS**

REV	DATE	DESCRIPTION OF CHANGES
1	03/19/24	REVISED PER WWT TOWNSHIP REVIEW COMMENTS
2	12/03/25	NO REVISION THIS SHEET
3	12/15/25	REVISED SITE LAYOUT
4	02/03/26	UPDATED MRC CONFORMANCE NETWORKS

**PRELIMINARY/FINAL LAND DEVELOPMENT PLAN FOR DATA CENTERS**

LOCATION: 215 VALLEY CREEK BLVD, EXTON, PA 19341

WEST WHITELAND TOWNSHIP CHESTER COUNTY, PA

PARCELS: TAX PARCEL NUMBER: 41-3-4

CLIENT: SENTINEL GREEN FIG, LLC, 505 5TH AVE, FLOOR 27, NEW YORK, NY 10017

PROJECT No.: 1508-B

SURVEY REF.: 1195-B (DSS)

DRAWN BY: E.C.R.

CHECKED BY: J.M.R.

PLAN DATE: JANUARY 31, 2024

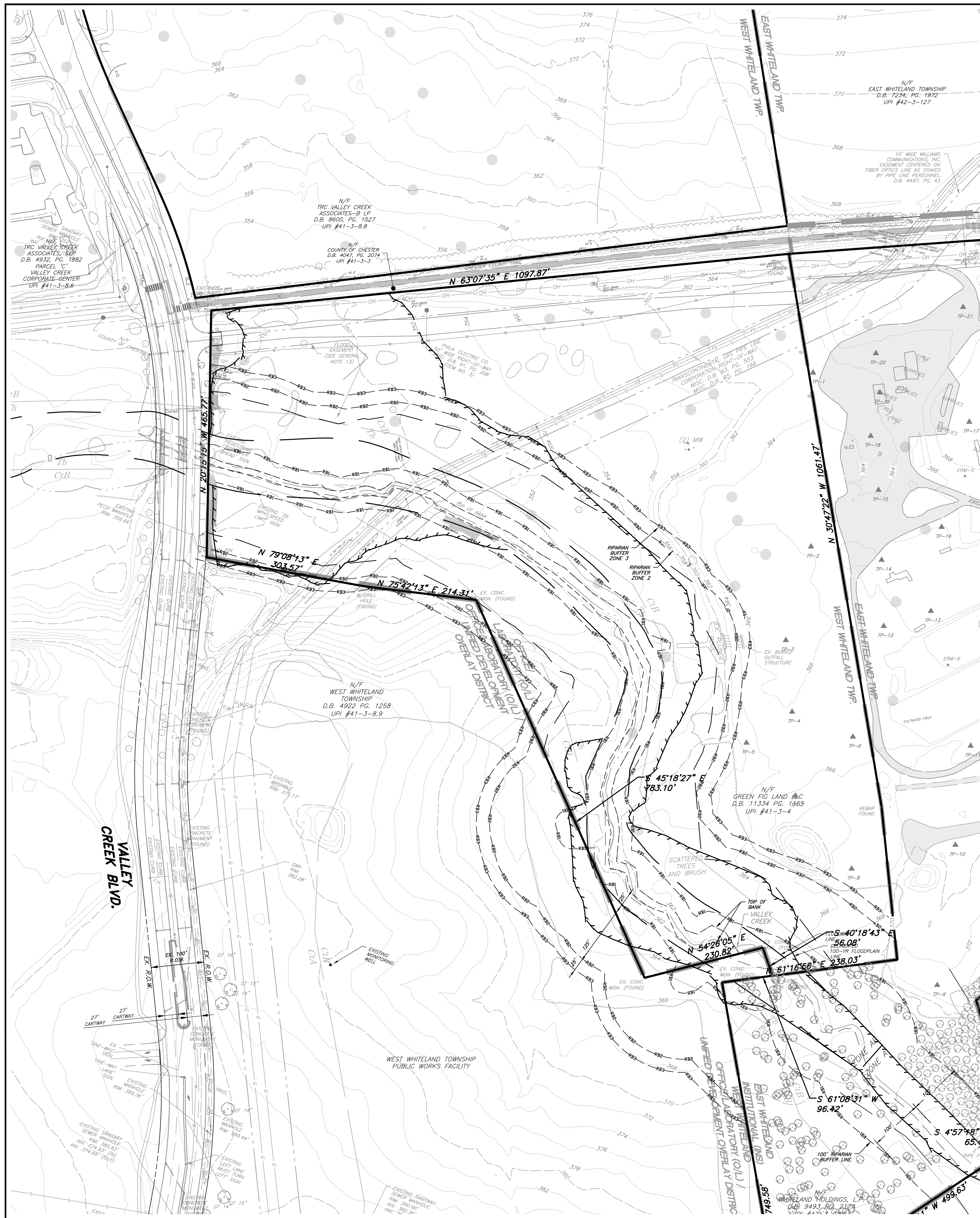
PLAN SCALE: 1" = 100'

SHEET TITLE: **SITE PLAN**

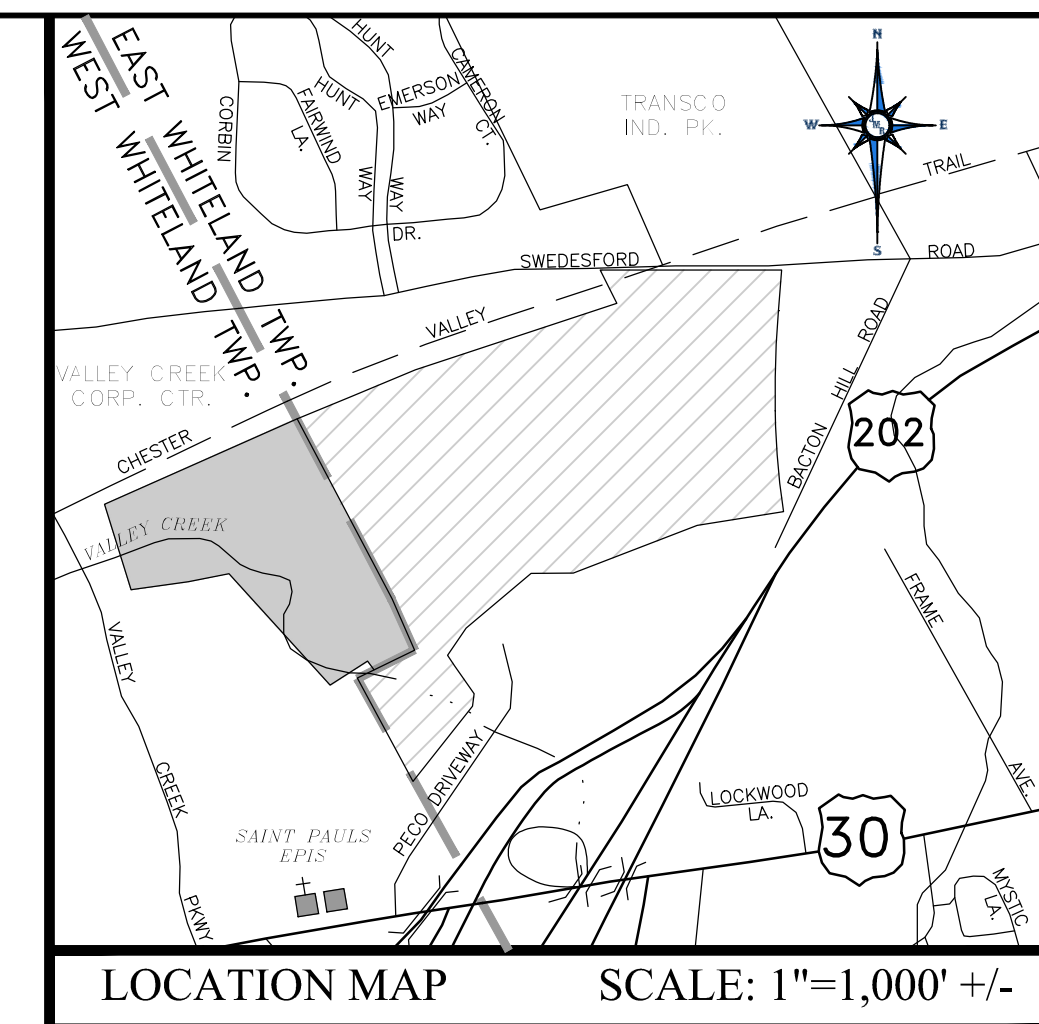
SHEET NUMBER: 2 OF 13

Plot Date: Tue, Feb. 03, 2026

Fig. 2 SITE.DWG



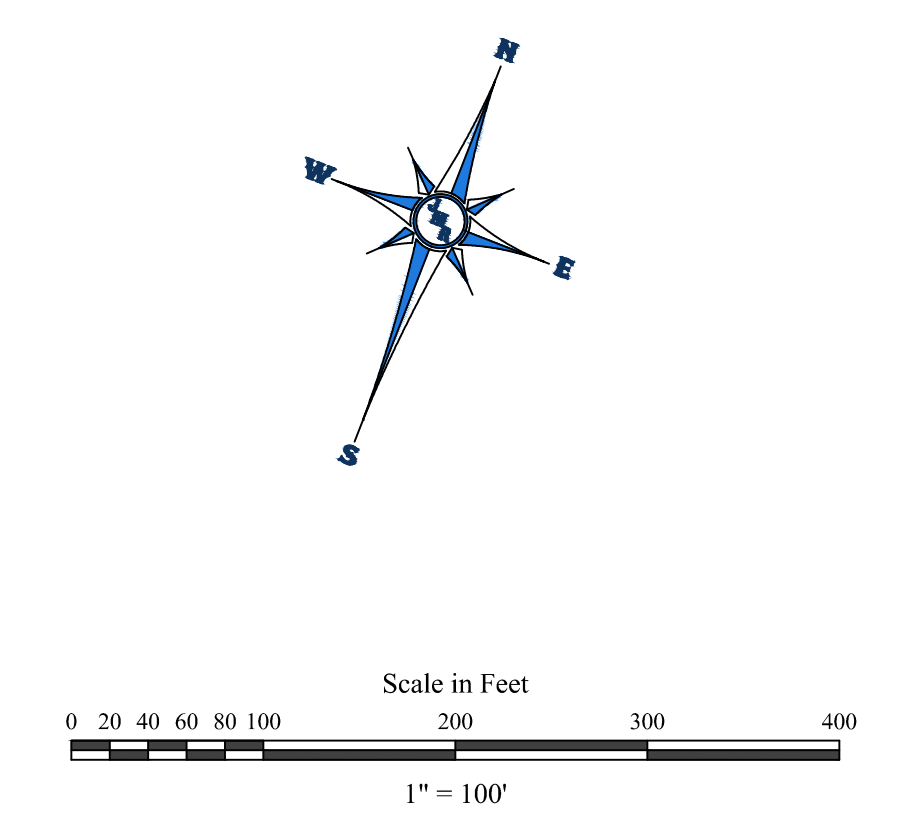
SUMMARY OF INFILTRATION TESTING							
TP	GR. EL.	TEST DEPTH (IN)	TEST EL.	RATE (IN/HR)	LIMITING ZONE DEPTH (IN)	LIMITING ZONE (ELEV.)	NOTES
1	363.1	57	358.4	0.00	N/A	N/A	N/A
2	365.2	56	360.5	0.00	N/A	N/A	N/A
3	366.9	78	360.4	N/A	160	353.6	Groundwater From Seepage Above
4	365.4	84	358.4	N/A	144	353.4	Groundwater From Seepage Above
5	363.2	66	357.7	0.50	N/A	N/A	
6	364.8	64	359.5	0.00	N/A	N/A	
7	365.4	96	357.4	6.00	N/A	N/A	
8	366.9	55	362.3	0.00	N/A	N/A	
9	372.7	36	369.7	0.00	N/A	N/A	
10	367.9	54	363.4	0.00	N/A	N/A	
11	367.1	58	362.3	1.00	N/A	N/A	
12	365.4	96	357.4	0.50	N/A	N/A	
13	369.0	68	363.3	0.50	N/A	N/A	
14	363.5	72	357.5	0.00	N/A	N/A	
15	363.8	71	357.8	0.00	N/A	N/A	
16	364.0	64	358.7	0.00	N/A	N/A	
17	368.1	63	362.9	0.00	N/A	N/A	
18	363.5	68	357.8	0.25	N/A	N/A	
19	363.8	72	357.8	0.25	N/A	N/A	
20	364.5	29	362.1	0.50	N/A	N/A	
21	366.3	60	361.3	0.25	N/A	N/A	
22	366.0	56	361.3	0.00	N/A	N/A	
23	366.2	62	361.0	0.50	N/A	N/A	
24	372.9	52	368.6	0.00	72	366.9	Rock
25	369.3	55	364.7	0.25	N/A	N/A	
26	369.1	54	364.6	0.25	N/A	N/A	
27	367.9	56	363.2	0.50	N/A	N/A	
28	374.3	24	372.3	0.00	N/A	N/A	
29	374.5	24	372.5	3.00	68	368.8	Rock
30	372.4	36	369.4	0.50	70	366.6	Rock
31	374.0	54	369.5	0.25	N/A	N/A	
32	385.1	54	380.6	2.00	N/A	N/A	
33	373.0	42	369.5	1.50	N/A	N/A	
34	373.4	64	368.1	0.50	N/A	N/A	
35	367.3	57	362.6	2.50	N/A	N/A	
36	369.0	42	365.5	0.50	N/A	N/A	
37	373.4	52	369.1	0.25	N/A	N/A	
38	374.7	71	368.8	1.25	N/A	N/A	
39	376.5	84	369.5	0.50	N/A	N/A	
40	376.4	84	369.4	2.25	N/A	N/A	Perched Water in Fill @ 88"
41	373.0	55	368.4	0.00	N/A	N/A	
42	373.1	52	368.8	0.00	60	368.1	Groundwater
43	373.4	67	367.8	0.00	126	362.9	Rock
44	378.5	25	376.4	0.50	N/A	N/A	
45	373.5	69	366.8	0.13	N/A	N/A	
46	372.0	84	365.0	0.25	N/A	N/A	
47	376.1	84	369.1	0.38	N/A	N/A	
48	379.0	54	374.5	0.25	N/A	N/A	
49	376.1	54	371.6	18.00	120	366.1	Rock
50	382.9	60	377.9	0.00	N/A	N/A	
51	383.4	48	379.4	2.00	66	377.9	Groundwater
52	381.7	59	376.8	0.00	N/A	N/A	
53	375.7	66	370.2	0.13	N/A	N/A	
54	374.6	60	369.6	0.25	N/A	N/A	
55	379.6	44	375.9	0.13	N/A	N/A	
56	384.8	84	377.8	0.25	N/A	N/A	
57	379.0	68	373.3	0.00	N/A	N/A	
58	384.9	52	380.6	0.00	114	375.4	Rock
59A	385.1	61	380.0	0.00	100	376.8	Rock
60	384.7	62	379.5	1.00	48	380.7	Groundwater
61	385.2	76	378.9	1.00	48	381.2	Groundwater
62	387.0	76	380.7	0.13	N/A	N/A	
63	385.4	85	378.3	0.13	N/A	N/A	
64	383.3	71	377.4	0.13	N/A	N/A	
65	384.7	32	382.0	0.25	N/A	N/A	
66	390.0	66	384.5	0.25	N/A	N/A	
67	392.1	32	389.4	0.50	N/A	N/A	



**LEGEND**

**EXISTING**

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- IRON PIN
- CONCRETE MONUMENT
- BUILDING SETBACK LINE
- RIGHT-OF-WAY LINE
- FLOODPLAIN LINE
- FLOODWAY
- RIPARIAN BUFFER ZONE 1
- RIPARIAN BUFFER ZONE 2
- RIPARIAN BUFFER ZONE 3
- ASPHALT PAVEMENT
- CURB
- BUILDING
- SIGN
- SANITARY SEWER LINE
- SANITARY SEWER MANHOLE
- WATER LINE
- FIRE HYDRANT
- WATER VALVE
- WATER METER
- GAS VALVE
- OVERHEAD ELECTRIC LINE
- UNDERGROUND ELECTRIC LINE
- UTILITY POLE
- FENCELINE
- CONTOUR LINE
- TREE LINE
- DECIDUOUS TREE
- CONIFEROUS TREE
- SLOPES (15%-25%)
- SLOPES (>25%)



**NRCS SOILS IDENTIFICATION TABLE**

SYMBOL DESCRIPTION:	HYDROLOGIC GROUP	LAND CAPABILITY	SEASONAL HIGH WATER DEPTH	DEPTH TO BEDROCK
CHB CONESTOGA SILT LOAM, 3 TO 8 PERCENT SLOPES	B	2E	>80 INCHES	60"-99"

NOTE: THE ENTIRE SITE IS UNDERLAIN WITH THE ABOVE SOIL TYPE.

**JMR ENGINEERING, LLC**

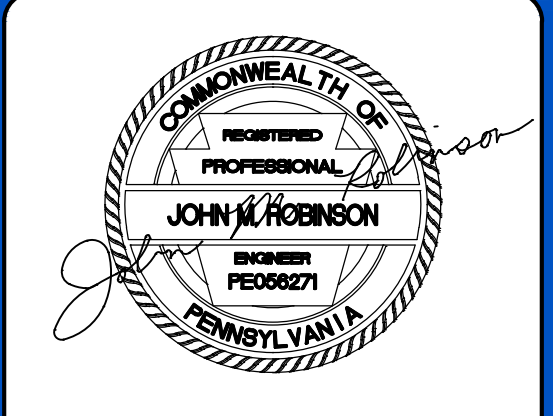
PROFESSIONAL CIVIL ENGINEERING • LAND PLANNING SERVICES

108 SCHUBERT DRIVE • DOWNTOWN, PA 19335

VOICE: (484) 880-7342

EMAIL: ADMIN@JMRENGINEERING.COM

WEBSITE: WWW.JMRENGINEERING.COM



**JOHN M. ROBINSON**  
PROFESSIONAL ENGINEER  
PENNSYLVANIA LICENSE NO. PE056271

**UTILITY USERS LIST**

USERS	RESPONSES
AQUA PENNSYLVANIA, INC.	
TEXAS EASTERN TRANSMISSION, LP	
AT&T LOCAL SERVICES	
TRANSCONTINENTAL GAS PIPELINE	
BUCKEYE PARTNERS	
VERIDON PENNSYLVANIA, INC.	
COMCAST CABLE	
WEST WHITELAND TOWNSHIP	
COMCAST CABLE COMMUNICATIONS, INC.	
WILEY COMMUNICATIONS, LLC	
EAST WHITELAND TOWNSHIP	
LEVELS COMMUNICATIONS	
PECO ENERGY	
FPL INTERSTATE ENERGY COMPANY	
SUNOCO, INC.	
SUNOCO PIPELINE, LP	

**CALL BEFORE YOU DIG!**

PROFESSIONAL ENGINEER JOHN M. ROBINSON, PE056271, HAS REVIEWED THE CONSTRUCTION OF THIS UNDERGROUND UTILITY (U) AND HAS GUARANTEED THE ACCURACY OF THE LOCATION OF ALL UTILITIES SHOWN ON THIS PLAN. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

1-800-242-1776  
POCS SERIAL NUMBER:  
20180261664 (WWT),  
20180261665 (CWT)

**PLAN REVISIONS**

REV. DATE	DESCRIPTION OF CHANGES
1 03/19/24	REVISED PER WWT TOWNSHIP REVIEW COMMENTS
2 12/03/25	NO REVISION THIS SHEET
3 12/15/25	REVISED SITE LAYOUT
4 02/03/26	UPDATED MRC CONVEYANCE NETWORKS

**PRELIMINARY/FINAL LAND DEVELOPMENT PLAN FOR DATA CENTERS**

LOCATION:  
215 VALLEY CREEK BLVD.  
EXTON, PA 19341  
WEST WHITELAND TOWNSHIP  
CHESTER COUNTY, PA

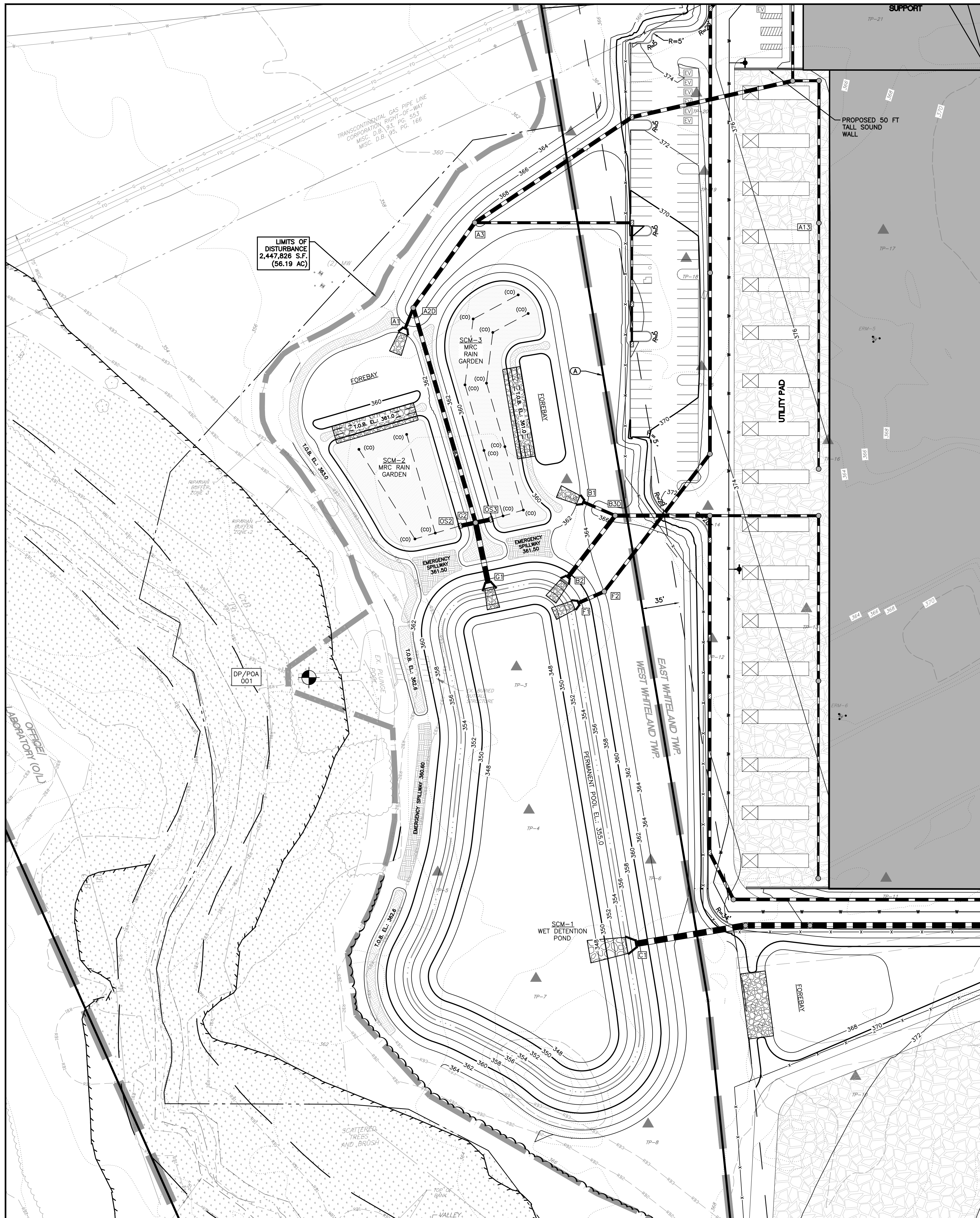
PARCELS:  
TAX PARCEL NUMBER:  
41-3-4

CLIENT:  
**SENTINEL GREEN FIG, LLC**  
505 5TH AVE, FLOOR 27  
NEW YORK, NY 10017

PROJECT No.: 1508-B  
SURVEY REF.: 1195-B (DSS)  
DRAWN BY: E.C.R.  
CHECKED BY: J.M.R.  
PLAN DATE: JANUARY 31, 2024  
PLAN SCALE: 1" = 100'

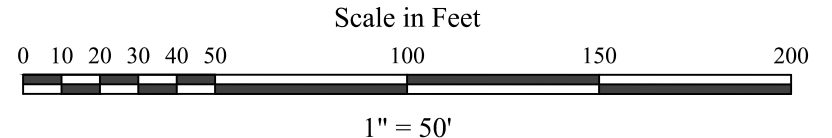
**EX. CONDITIONS, CONSERVATION & DEMOLITION PLAN**

SHEET NUMBER:  
**3 OF 13**  
Plot Date: Tue. Feb. 03, 2026  
File: 3.XCOND.DWG

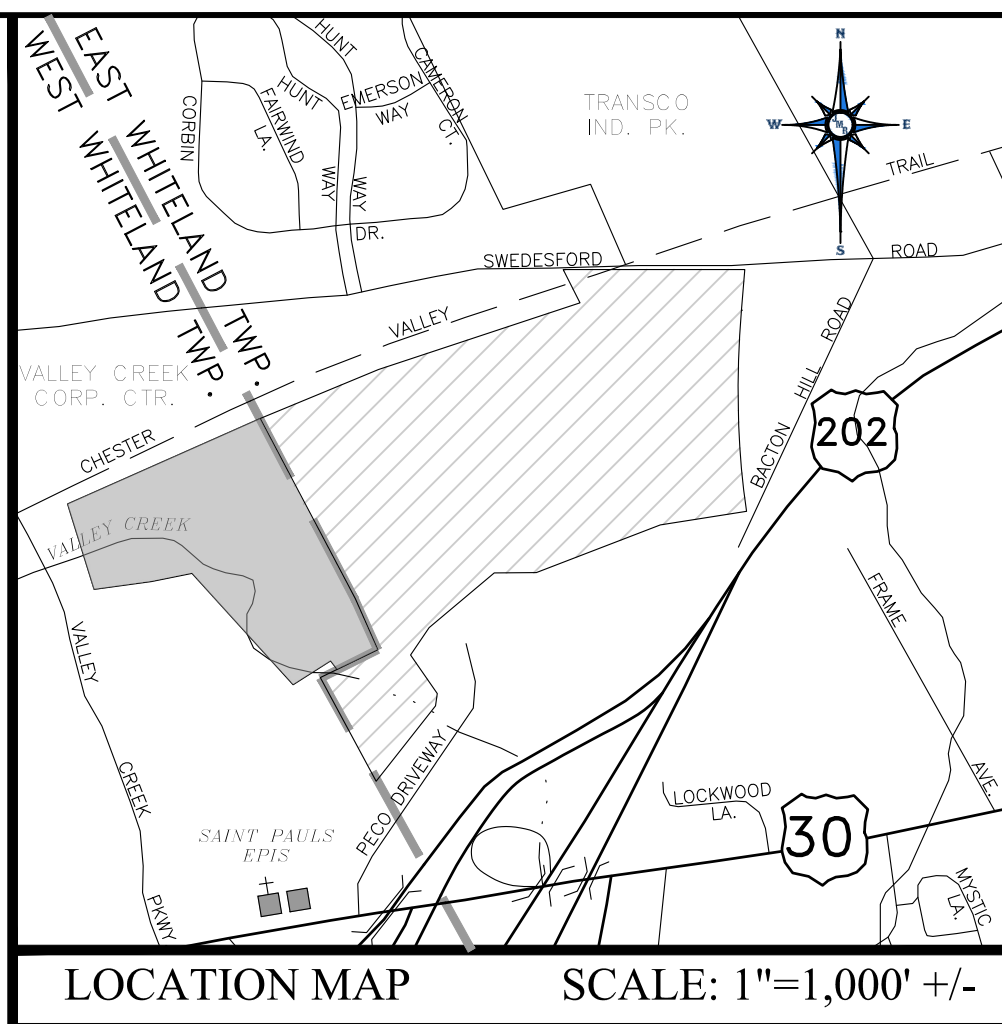


LIMITS OF DISTURBANCE  
2,447,826 S.F.  
(56.19 AC)

DP/POA  
001

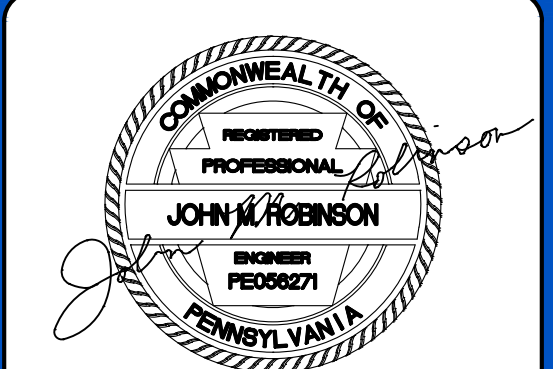


STORM STRUCTURE SCHEDULE				
NO.	TYPE/SIZE	T.E.	I.E. IN	I.E. OUT
A1	EW (363.29)	360.50 (24" RCP)		
A2D	DIVERSION MH (366.23)	360.90 (36" HDPE)	360.70 (24" RCP) 357.10 (36" RCP)	
A3	MH (368.00)	361.60 (36" HDPE) 361.80 (24" HDPE)	361.40 (36" HDPE)	
B1	EW (364.74)	361.00 (24" RCP)		
B2	EW (360.88)	357.00 (36" RCP)		
B3D	DIVERSION MH (367.00)	361.45 (36" HDPE)	361.25 (24" RCP) 358.50 (36" RCP)	
C1	EW (358.74)	355.00 (60" HDPE)		
F1	EW (357.71)	355.00 (30" RCP)		
F2	MH (364.00)	355.40 (30" HDPE)	355.20 (30" RCP)	
G1	EW (359.96)	355.00 (48" RCP)		
G2	MH (363.00)	355.50 (36" RCP) 355.50 (36" RCP) 356.00 (36" RCP)	355.30 (48" RCP)	
OS2	TYPE M (360.55)	356.00 (6" PVC)	355.70 (36" RCP)	
OS3	TYPE M (359.80)	356.00 (6" PVC)	355.70 (36" RCP)	



LEGEND		
EXISTING	PROPOSED	
---	PROPERTY LINE	N/A
---	ADJACENT PROPERTY LINE	N/A
o	IRON PIN	N/A
□	CONCRETE MONUMENT	N/A
---	BUILDING SETBACK LINE	N/A
---	RIGHT-OF-WAY LINE	N/A
---	FLOODPLAIN LINE	N/A
---	FLOODWAY	N/A
---	RIPARIAN BUFFER ZONE 1	N/A
---	RIPARIAN BUFFER ZONE 2	N/A
---	RIPARIAN BUFFER ZONE 3	N/A
---	ASPHALT PAVEMENT	N/A
---	CURB	N/A
---	BUILDING	N/A
---	CONCRETE	N/A
---	GRAVEL	N/A
---	SIGN	N/A
---	SANITARY SEWER LINE	N/A
---	SANITARY SEWER FORCE MAIN	N/A
---	SANITARY SEWER MANHOLE	N/A
---	WATER LINE	N/A
---	STORM SEWER LINE	N/A
---	STORM SEWER MANHOLE	N/A
---	FIRE HYDRANT	N/A
---	WATER VALVE	N/A
---	WATER METER	N/A
---	GAS LINE	N/A
---	GAS VALVE	N/A
---	COMMUNICATIONS LINE	N/A
---	OVERHEAD ELECTRIC LINE	N/A
---	UNDERGROUND ELECTRIC LINE	N/A
---	UTILITY POLE	N/A
---	FENCELINE	N/A
---	COUNTUR LINE	N/A
---	TREE LINE	N/A
---	DECIDUOUS TREE	N/A
---	CONIFEROUS TREE	N/A
---	SLOPES (15%-25%)	N/A
---	SLOPES (>25%)	N/A

**JMR ENGINEERING, LLC**  
 PROFESSIONAL CIVIL ENGINEERING • LAND PLANNING SERVICES  
 108 SCHUBERT DRIVE ~ DOWNTOWN, PA 19335  
 VOICE: (484) 880-7342  
 EMAIL: ADMIN@JMRENGINEERING.COM  
 WEBSITE: WWW.JMRENGINEERING.COM



**JOHN M. ROBINSON**  
 PROFESSIONAL ENGINEER  
 PENNSYLVANIA LICENSE NO. PE056271

UTILITY USERS LIST	
USERS	RESPONSES
AQUA PENNSYLVANIA, INC.	
TRANSCONTINENTAL GAS PIPELINE	
BUCKEYE PARTNERS	
VERISON PENNSYLVANIA, INC.	
COMCAST CABLE	
WEST WHITELAND TOWNSHIP	
COMCAST CABLE COMMUNICATIONS, INC.	
WITEL COMMUNICATIONS, LLC	
EAST WHITELAND TOWNSHIP	
LEVEL3 COMMUNICATIONS	
PECO ENERGY	
FPL INTERSTATE ENERGY COMPANY	
SURETYS, INC.	
SUNOCO PIPELINE, LP	

**CALL BEFORE YOU DIG!**  
 PENNSYLVANIA LAW REQUIRES THE OPERATOR OF ANY UNDERGROUND UTILITY (PIPE AT LEAST 3 INCH DIAMETER) TO BE NOTIFIED BY THE OPERATOR OF ANY CONSTRUCTION OF EXCAVATION AND ENGINEERING, LLC DOES NOT GUARANTEE THE ACCURACY OF THE LOCATION OR DEPTH OF UTILITIES SHOWN. THE OPERATOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.  
 1-800-242-1776  
 POC'S SERIAL NUMBER:  
 20180261664 (WWT),  
 20180261665 (CWT)

PLAN REVISIONS	
REV. DATE	DESCRIPTION OF CHANGES
1 03/19/24	REVISED PER WWT TOWNSHIP REVIEW COMMENTS
2 12/03/25	NO REVISION THIS SHEET
3 12/15/25	REVISED SITE LAYOUT
4 02/03/26	UPDATED MRC CONVEYANCE NETWORKS

**PROJECT:**  
**PRELIMINARY/FINAL**  
**LAND DEVELOPMENT**  
**PLAN**  
**FOR**  
**DATA CENTERS**

**LOCATION:**  
 215 VALLEY CREEK BLVD.  
 EXTON, PA 19341  
 WEST WHITELAND TOWNSHIP  
 CHESTER COUNTY, PA

**PARCELS:**  
**TAX PARCEL NUMBER:**  
 41-3-4

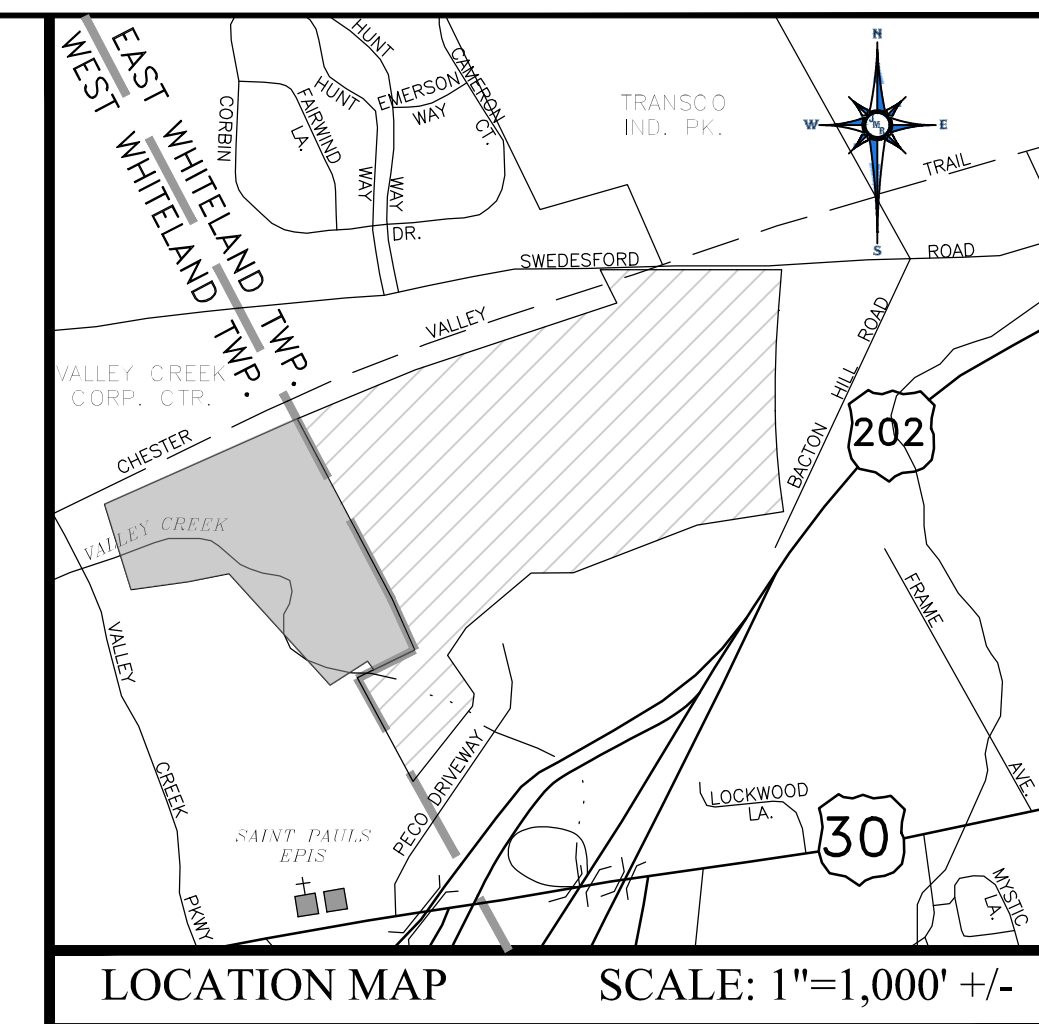
**CLIENT:**  
**SENTINEL GREEN FIG, LLC**  
 505 5TH AVE, FLOOR 27  
 NEW YORK, NY 10017

**PROJECT No.:** 1508-B  
**SURVEY REF.:** 1195-B (DSS)  
**DRAWN BY:** E.C.R.  
**CHECKED BY:** J.M.R.  
**PLAN DATE:** JANUARY 31, 2024  
**PLAN SCALE:** 1" = 50'

**SHEET TITLE:**  
**GRADING & UTILITIES PLAN**  
**SHEET NUMBER:**  
**4 OF 13**  
 Plot Date: Tue, Feb. 03, 2026  
 File: 4 GRADE.DWG



SUMMARY OF INFILTRATION TESTING							
TP	GR. EL.	TEST DEPTH (IN)	TEST EL.	RATE (IN/HR)	LIMITING ZONE DEPTH (IN)	LIMITING ZONE (ELEV.)	NOTES
1	363.1	57	358.4	0.00	N/A	N/A	N/A
2	365.2	56	360.5	0.00	N/A	N/A	N/A
3	366.9	78	360.4	N/A	160	353.6	Groundwater From Seepage Above
4	365.4	84	358.4	N/A	144	353.4	Groundwater From Seepage Above
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14	363.5	72	357.5	0.00	N/A	N/A	N/A
15	363.8	71	357.8	0.00	N/A	N/A	N/A
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17	368.1	63	362.9	0.00	N/A	N/A	N/A
18	363.5	68	357.8	0.25	N/A	N/A	N/A
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22	366.0	56	361.3	0.00	N/A	N/A	N/A
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24	372.9	52	368.6	0.00	72	366.9	Rock
25	369.3	55	364.7	0.25	N/A	N/A	N/A
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48	379.0	54	374.5	0.25	N/A	N/A	N/A
49	376.1	54	371.6	18.00	120	366.1	Rock
50	382.9	60	377.9	0.00	N/A	N/A	N/A
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53	375.7	66	370.2	0.13	N/A	N/A	N/A
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57	379.0	68	373.3	0.00	N/A	N/A	N/A
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63	385.4	85	378.3	0.13	N/A	N/A	N/A
64	383.3	71	377.4	0.13	N/A	N/A	N/A
65	384.7	32	382.0	0.25	N/A	N/A	N/A
66	390.0	66	384.5	0.25	N/A	N/A	N/A
67	392.1	32	389.4	0.50	N/A	N/A	N/A



LEGEND		EXISTING	PROPOSED
---	PROPERTY LINE	---	N/A
---	ADJACENT PROPERTY LINE	---	N/A
○	IRON PIN	○	N/A
□	CONCRETE MONUMENT	□	N/A
---	BUILDING SETBACK LINE	---	N/A
---	RIGHT-OF-WAY LINE	---	N/A
---	FLOODPLAIN LINE	---	N/A
---	FLOODWAY	---	N/A
---	RIPARIAN BUFFER ZONE 1	---	N/A
---	RIPARIAN BUFFER ZONE 2	---	N/A
---	RIPARIAN BUFFER ZONE 3	---	N/A
---	ASPHALT PAVEMENT	---	N/A
---	CURB	---	N/A
---	BUILDING	---	N/A
S	SANITARY SEWER LINE	S	N/A
⊙	SANITARY SEWER MANHOLE	⊙	N/A
W	WATER LINE	W	N/A
⊙	FIRE HYDRANT	⊙	N/A
W.V.○	WATER VALVE	W.V.○	N/A
W.M.○	WATER METER	W.M.○	N/A
---	GAS	---	N/A
---	GAS VALVE	---	N/A
---	OVERHEAD ELECTRIC LINE	---	N/A
---	UNDERGROUND ELECTRIC LINE	---	N/A
---	UTILITY POLE	---	N/A
X	FENCELINE	X	N/A
---	CONTOUR LINE	---	500
N/A	LIMITS OF DISTURBANCE	---	N/A
---	TREE LINE	---	N/A
---	DECIDUOUS TREE	---	N/A
---	CONIFEROUS TREE	---	N/A
---	SLOPES (15%-25%)	---	N/A
---	SLOPES (>25%)	---	N/A

**SOIL USE LIMITATIONS AND RESOLUTIONS:**

ACID SOIL TYPES: pH LOWER THAN 5.5  
 THE ABOVE CHART LISTS THE TYPICAL SOIL pH. SOIL TESTS SHOULD BE TAKEN TO DETERMINE THE ACTUAL SOIL pH REACTION. A pH OF 5.5 SHOULD BE ACHIEVED. TO RESOLVE THIS LIMITATION THE SOIL pH SHOULD BE ADJUSTED BY APPLYING LIME RATES IN ACCORDANCE WITH THE PENN STATE AGRICULTURE GUIDE AND THE RECOMMENDATIONS FROM A REPUTABLE LABORATORY.

WET SOIL TYPES  
 TO RESOLVE THIS LIMITATION VEGETATIVE SPECIES THAT ARE TOLERANT TO WET CONDITIONS SHOULD BE SELECTED FOR LANDSCAPING.

POOR TOPSOIL  
 SOIL SHOULD BE IMPORTED FROM OTHER AREAS ON SITE. THE CHESTER COUNTY CONSERVATION DISTRICT MUST APPROVE ANY DEVIATION FROM THE E&S CONSTRUCTION SEQUENCE.

SOLUTION CHAMBERS/SINKHOLES  
 IF SOLUTION CHAMBERS OR SINKHOLES APPEAR DURING CONSTRUCTION ACTIVITIES, A GEOLOGIST SHOULD BE CONTACTED FOR RECOMMENDATIONS.

WET SOIL TYPES/HIGH WATER TABLE DURING EXCAVATION ACTIVITIES  
 WATER TO BE PUMPED TO A Dewatering STRUCTURE.

POOR SUITABILITY FOR WINTER GRADING/FROST ACTION  
 ADEQUATE COMPACTION OF SOIL IS REQUIRED FOR THE EMBANKMENTS, PIPE BACKFILL, ROAD CONSTRUCTION AND THE BUILDING PAD. IF ADEQUATE COMPACTION CANNOT BE ACHIEVED DUE TO FROST ACTION OR WET SOIL TYPE, EITHER SOIL SHOULD BE IMPORTED FROM OTHER AREAS ON SITE OR CONSTRUCTION OF THESE FACILITIES SHOULD NOT BE WORKED ON DURING PERIODS PRONE TO FROST. THE CHESTER COUNTY CONSERVATION DISTRICT, (810) 925-4920 MUST APPROVE ANY DEVIATION FROM THE E&S CONSTRUCTION SEQUENCE.

PERMEABLE SOIL FOR EMBANKMENT CONSTRUCTION  
 SOIL SHOULD BE IMPORTED FROM OTHER AREAS ON SITE. THE CHESTER COUNTY CONSERVATION DISTRICT, MUST APPROVE ANY DEVIATION FROM THE E&S CONSTRUCTION SEQUENCE.

**STORMWATER SYSTEM MODIFICATION:**

I HEREBY ACKNOWLEDGE THAT ANY REVISION TO THE APPROVED STORMWATER SITE PLAN SHALL BE SUBMITTED TO AND APPROVED BY THE WEST WHITELAND TOWNSHIP, AND THAT A REVISED EROSION AND SEDIMENT CONTROL PLAN SHALL BE SUBMITTED TO, AND APPROVED BY THE CONSERVATION DISTRICT OR WEST WHITELAND TOWNSHIP (AS APPLICABLE) FOR A DETERMINATION OF ADEQUACY PRIOR TO CONSTRUCTION OF THE REVISED FEATURES.

APPLICANT \_\_\_\_\_ DATE \_\_\_\_\_

**ENGINEER'S CERTIFICATION:**

I, JOHN M. ROBINSON, P.E., HEREBY CERTIFY THAT THE SWM SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF CHAPTER 270 OF THE WEST WHITELAND TOWNSHIP CODE OF ORDINANCES, STORMWATER MANAGEMENT.

*John M. Robinson* 2/3/2026  
 (PROFESSIONAL ENGINEER) (DATE)

**NOTE:**  
 SEE SHEET NUMBERS 5, 6, 11 & 12 FOR PCSM PLAN NOTES, DETAILS AND OPERATION & MAINTENANCE PROCEDURES.

**JMR ENGINEERING, LLC**  
 PROFESSIONAL CIVIL ENGINEERING • LAND PLANNING SERVICES  
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 WEBSITE: WWW.JMRENGINEERING.COM

**JOHN M. ROBINSON**  
 PROFESSIONAL ENGINEER  
 PENNSYLVANIA LICENSE NO. PE056271

**UTILITY USERS LIST**

USERS	RESPONSES
AQUA PENNSYLVANIA, INC.	N/A
PAKAS EASTERN TRANSMISSION, LP	N/A
AT&T LOCAL SERVICES	N/A
TRANSCONTINENTAL GAS PIPELINE	N/A
BUCKEYE PARTNERS	N/A
VERISON PENNSYLVANIA, INC.	N/A
COMCAST CABLE	N/A
WEST WHITELAND TOWNSHIP	N/A
COMCAST CABLE COMMUNICATIONS, INC.	N/A
WILET COMMUNICATIONS, LLC	N/A
EAST WHITELAND TOWNSHIP	N/A
LEVELS COMMUNICATIONS	N/A
PECO ENERGY	N/A
FPL INTERSTATE ENERGY COMPANY	N/A
SUNOCO PIPELINE, LP	N/A

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 PENNSYLVANIA DEPARTMENT OF TRANSPORTATION  
 1-800-242-1776  
 PCCS SERIAL NUMBER:  
 20180261664 (WWT),  
 20180261665 (CWT)

**PLAN REVISIONS**

REV	DATE	DESCRIPTION OF CHANGES
1	03/19/24	REVISED PER WWT TOWNSHIP REVIEW COMMENTS
2	12/03/25	NO REVISION THIS SHEET
3	12/15/25	REVISED SITE LAYOUT
4	02/03/26	UPDATED MRC CONVEYANCE NETWORKS

**PROJECT: PRELIMINARY/FINAL LAND DEVELOPMENT PLAN FOR DATA CENTERS**

LOCATION:  
 215 VALLEY CREEK BLVD.  
 EXTON, PA 19341  
 WEST WHITELAND TOWNSHIP  
 CHESTER COUNTY, PA

PARCELS:  
 TAX PARCEL NUMBER:  
 41-3-4

CLIENT:  
 SENTINEL GREEN FIG, LLC  
 505 5TH AVE, FLOOR 27  
 NEW YORK, NY 10017

PROJECT No.: 1508-B  
 SURVEY REF.: 1195-B (DSS)  
 DRAWN BY: E.C.R.  
 CHECKED BY: J.M.R.  
 PLAN DATE: JANUARY 31, 2024  
 PLAN SCALE: 1" = 100'

SHEET TITLE:  
**PCSM PLAN**  
 SHEET NUMBER:  
**5 OF 13**

Plot Date: Tue, Feb. 03, 2026  
 File: 6 PCSM.DWG



LEGEND		EXISTING	PROPOSED
---	PROPERTY LINE	---	N/A
---	ADJACENT PROPERTY LINE	---	N/A
○	IRON PIN	○	N/A
□	CONCRETE MONUMENT	□	N/A
---	BUILDING SETBACK LINE	---	N/A
---	RIGHT-OF-WAY LINE	---	N/A
---	FLOODPLAIN LINE	---	N/A
---	FLOODWAY	---	N/A
---	RIPARIAN BUFFER ZONE 1	---	N/A
---	RIPARIAN BUFFER ZONE 2	---	N/A
---	RIPARIAN BUFFER ZONE 3	---	N/A
---	ASPHALT PAVEMENT	---	N/A
---	CURB	---	N/A
---	BUILDING	---	N/A
○	SIGN	○	N/A
---	SANITARY SEWER LINE	---	N/A
○	SANITARY SEWER MANHOLE	○	N/A
---	WATER LINE	---	N/A
---	FIRE HYDRANT	---	N/A
---	WATER VALVE	---	N/A
---	WATER METER	---	N/A
---	GAS LINE	---	N/A
---	GAS VALVE	---	N/A
---	OVERHEAD ELECTRIC LINE	---	N/A
---	UNDERGROUND ELECTRIC LINE	---	N/A
---	UTILITY POLE	---	N/A
---	FENCELINE	---	N/A
---	CONTOUR LINE	---	N/A
---	TREE LINE	---	N/A
○	DECIDUOUS TREE	○	N/A
○	CONIFERS (15% - 25%)	○	N/A
○	SLOPES (>25%)	○	N/A

**OWNER/APPLICANT:**  
 SENTINEL GREEN FIG, LLC  
 C/O JOSHUA B RABINA  
 505 5TH AVE., FLOOR 27  
 NEW YORK, NY 10017  
 (212) 680-4501

**POST CONSTRUCTION STORMWATER MANAGEMENT GENERAL NOTES**

- THE PERMITTEE SHALL PROVIDE ENGINEERING CONSTRUCTION OVERSIGHT FOR THE PROPOSED STORMWATER BMPs. ADDITIONAL SOIL TESTING MAY BE REQUIRED PRIOR TO THE INSTALLATION OF INFILTRATION BMPs TO ENSURE PROPER LOCATION AND FUNCTION. A LICENSED PROFESSIONAL ENGINEER, KNOWLEDGEABLE IN THE DESIGN AND CONSTRUCTION OF STORMWATER BMPs, PREFERABLY THE DESIGN ENGINEER, SHALL CONDUCT THE OVERSIGHT.
- A NOTICE OF TERMINATION (NOT) WILL BE REQUIRED TO BE SUBMITTED FOLLOWING APPROVAL OF THE FINAL AS-BUILT PLANS. PRIOR TO ACCEPTING THE NOT, THE DEPARTMENT AND/OR CONSERVATION DISTRICT STAFF WILL PERFORM A FINAL INSPECTION TO ENSURE SITE STABILIZATION AND VERIFY ADEQUATE INSTALLATION AND FUNCTION OF STORMWATER BMPs.
- UPON PERMANENT STABILIZATION OF THE EARTH DISTURBANCE ACTIVITY UNDER SECTION 102.22(c)(1) OF THE PA CODE (RELATING TO PERMANENT STABILIZATION) AND INSTALLATION OF BMPs IN ACCORDANCE WITH AN APPROVED PLAN PREPARED AND IMPLEMENTED IN ACCORDANCE WITH SECTIONS 102.4 & 102.8 OF THE PA CODE (RELATING TO EROSION AND SEDIMENT CONTROL REQUIREMENTS; AND PCSM REQUIREMENTS), THE PERMITTEE SHALL SUBMIT A NOTICE OF TERMINATION TO DEP OR THE CONSERVATION DISTRICT. THE NOTICE OF TERMINATION MUST INCLUDE:
  - THE FACILITY NAME, ADDRESS AND LOCATION.
  - THE OPERATOR NAME AND ADDRESS.
  - THE PERMIT NUMBER.
  - THE REASON FOR PERMIT TERMINATION.
  - RESPONSIBLE PARTY DURING CONSTRUCTION AND MAINTENANCE OF THE PCSM BMPs IN ACCORDANCE WITH SECTION 102.8(b)(1) OF THE PA CODE AND PROOF OF COMPLIANCE WITH SECTION 102.8(b)(2) OF THE PA CODE. PRIOR TO ACCEPTING THE NOT, DEP AND/OR CONSERVATION DISTRICT STAFF WILL PERFORM A FINAL INSPECTION AND APPROVE OR DENY THE NOTICE OF TERMINATION (NOT).
- A PERMITTEE OR CO-PERMITTEE THAT FAILS TO TRANSFER LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMP OR OTHERWISE FAILS TO COMPLY WITH THIS REQUIREMENT SHALL REMAIN SOLELY AND SEVERALLY RESPONSIBLE WITH THE LANDOWNER FOR LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMP.
- DURING THE FIRST GROWING SEASON OR UNTIL ESTABLISHED, VEGETATION SHOULD BE INSPECTED EVERY 2 TO 3 WEEKS.
- DURING THE FIRST YEAR, THE WET POND SHALL BE INSPECTED AT LEAST 4 TIMES AND AFTER MAJOR STORMS (GREATER THAN 2 INCHES IN 24 HOURS) OR RAPID ICE BREAKUP. INSPECT THE WET POND FOR EROSION, CHANNELING, EROSION CHANNELIZATION, BANK STABILITY, INLET/OUTLET CONDITIONS, EMBANKMENT, AND SEDIMENT/DEBRIS ACCUMULATION. PROBLEMS SHOULD BE CORRECTED AS SOON AS POSSIBLE.
- WET POND AND BUFFER VEGETATION MAY NEED SUPPORT (WATERING, WEEDING, MULCHING, REPLANTING, ETC.) DURING THE FIRST 3 YEARS. UNSURVIVABLE SPECIES SHOULD BE CAREFULLY REMOVED AND DESIRABLE REPLACEMENTS PLANTED IF NECESSARY.

**NOTE:**  
 SEE SHEET NUMBERS 5, 6, 11 & 12 FOR PCSM PLAN NOTES, DETAILS AND OPERATION & MAINTENANCE PROCEDURES.

**STORMWATER MANAGEMENT FACILITIES NOTE**  
 THE LANDOWNER ACKNOWLEDGES THAT PER THE PROVISIONS OF THE MUNICIPALITY'S STORMWATER MANAGEMENT ORDINANCE, IT IS UNLAWFUL TO MODIFY, REMOVE, FILL, LANDSCAPE, ALTER OR IMPAIR THE EFFECTIVENESS OF OR PLACE ANY STRUCTURE OVER VEGETATION, HARD WASTE BRUSH CUTTINGS, OR OTHER WASTE OR DEBRIS INTO ANY PERMANENT STORMWATER MANAGEMENT BMP OR CONVEYANCE DESCRIBED IN THIS O&M PLAN OR TO ALLOW THE BMP OR CONVEYANCE TO DIST IN A MANNER WHICH DOES NOT CONFORM TO THIS O&M PLAN, WITHOUT WRITTEN APPROVAL FROM THE MUNICIPALITY.

**PROCEDURES FOR REDUCING THE RISK OF SINKHOLE FORMATION AND FOR SINKHOLE REMEDIATION**

**GENERAL**

- THE SITE IS UNDERLAIN BY KARST, OR CARBONATE GEOLOGY, AS SUCH, THERE IS AN INHERENT RISK OF SINKHOLE FORMATION WHICH CAN BE CONTROLLED, BUT NOT ELIMINATED. THE PROCEDURES OUTLINED HEREIN ARE INTENDED TO REDUCE THE RISK OF SINKHOLE FORMATION AT THE SITE DURING AND AFTER CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR THE IMPLEMENTATION OF THESE PROCEDURES, WHICH ARE INCIDENTAL TO THE CONTRACT. IN ADDITION, SPECIFICATIONS FOR THE REMEDIATION OF SINKHOLES, IF NECESSARY, ARE INCLUDED.

**PROCEDURES FOR SINKHOLE RISK REDUCTION**

- PRIOR TO BEGINNING OTHER EARTHWORK ACTIVITIES, CONSTRUCT PERMANENT AND/OR TEMPORARY DRAINAGE FACILITIES AS SHOWN ON THE PLANS, INCLUDING THE STORMWATER BASIN AND OUTLET CONTROL STRUCTURE. CONSTRUCT THE REQUIRED EROSION AND SEDIMENTATION CONTROLS AS SHOWN ON THE PLANS.
- CONFINE EARTH DISTURBANCE ACTIVITIES TO THE AREA REQUIRED FOR EACH DAY'S WORK.
- LIMIT THE EXTENT OF EXCAVATION AND FOUNDATION EXCAVATIONS TO THAT WHICH CAN BE BACKFILLED EACH DAY. FOR THOSE EXCAVATIONS WHICH ARE LEFT OPEN OVERNIGHT (PARTICULARLY WHEN RAIN OR SNOW IS FORECASTED), AND BEFORE EACH WEDNEKEND, CONSTRUCT DIVERSION Dikes OR BIRMS AROUND THESE OPENINGS TO LIMIT THE AMOUNT OF RAIN OR SNOW WHICH CAN COLLECT IN THEM. AFTER A PRECIPITATION EVENT, IMMEDIATELY REMOVE ANY STANDING WATER FROM SUCH EXCAVATIONS.
- AT THE END OF EACH DAY (PARTICULARLY WHEN RAIN OR SNOW IS FORECASTED), AND BEFORE EACH WEDNEKEND, GRADE THE DISTURBED AREAS OF THE SITE TO DRAIN TOWARDS THE PREVIOUSLY CONSTRUCTED DRAINAGE FACILITIES AND SEAL THE DISTURBED SOIL USING A SMOOTH-DRUM ROLLER. AFTER A PRECIPITATION EVENT, IMMEDIATELY DISPERSE OR REMOVE ANY PONDED WATER.

**REMEDIATION OF SINKHOLES**

THE FOLLOWING PROCEDURES ARE RECOMMENDED FOR THE REMEDIATION OF SINKHOLES WHICH OCCUR DURING CONSTRUCTION. THIS WORK SHALL BE PERFORMED UNDER THE DIRECTION OF A GEOTECHNICAL ENGINEER.

- CAREFULLY REMOVE ANY LOOSE OR DISTURBED SOIL AND ROCK FROM THE SINKHOLE OPENING IN AN ATTEMPT TO EXPOSE THE THROAT.
- IF THE THROAT REMAINS OPEN, FILL AND PLUG THE OPENING USING CONVENTIONAL, LOW-STRENGTH CONCRETE (2,500 PSI, 6" SLUMP). PROVIDE SUFFICIENT CONCRETE TO ALLOW IT SETTLE INTO THE SOIL. AFTER THE CONCRETE HAS CURED, BACKFILL THE REMAINING OPENING WITH COMPACTED TOPSOIL TO A MINIMUM OF 12 INCHES (12:1) INTO THE SURROUNDING SOIL.
- IF THE THROAT COLLAPSES OR DISAPPEARS, EXCAVATE THE EXCAVATION AND BACKFILL THE EXCAVATION WITH NATIVE SOIL IN ACCORDANCE WITH THE EARTHWORK SPECIFICATIONS.
- FOR DEEP SINKHOLES (I.E. DEEPER THAN 8'), EACH LIFT OF BACKFILL SHOULD BE BENCHMARKED TO A MINIMUM OF TWELVE INCHES (12:1) INTO THE SURROUNDING SOIL.
- FOR SINKHOLES WHICH OCCUR WITHIN THE BUILDING AREA OR BENEATH THE BUILDING FOUNDATIONS, MORE SUBSTANTIAL MEASURES MAY BE REQUIRED SUCH AS CONSTRUCTION GRouting OR ALTERNATIVE SUPPORT SYSTEMS. IF REQUIRED, THESE PROCEDURES WILL BE SPECIFIED IN MORE DETAIL BY THE GEOTECHNICAL ENGINEER.
- FOR PERSISTENT SINKHOLE ZONES WITHIN THE PAVED AREAS OF THE SITE, THE GEOTECHNICAL ENGINEER MAY RECOMMEND AND PROVIDE DETAILS AND SPECIFICATIONS FOR THE USE OF GEOSYNTHETICS TO SUPPORT THE PAVEMENT SUBGRADE OVER THIS AREA.

**POST CONSTRUCTION STORMWATER MANAGEMENT LONG TERM OPERATIONS AND MAINTENANCE REQUIREMENTS**

- UNTIL THE PERMITTEE OR CO-PERMITTEE HAS RECEIVED WRITTEN APPROVAL OF A NOTICE OF TERMINATION, THE PERMITTEE OR CO-PERMITTEE WILL REMAIN RESPONSIBLE FOR COMPLIANCE WITH THE PERMIT TERMS AND CONDITIONS INCLUDING LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMPs ON THE PROJECTS SITE AND IS RESPONSIBLE FOR VIOLATIONS OCCURRING ON THE PROJECT SITE.
- THE PERMITTEE OR CO-PERMITTEE SHALL BE RESPONSIBLE FOR LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMPs. THE PERMITTEE OR CO-PERMITTEE SHALL BE RESPONSIBLE FOR LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMPs. THE PERMITTEE OR CO-PERMITTEE SHALL RECORD AN INSTRUMENT WITH THE RECORDER OF DEEDS WHICH WILL ASSURE DISCLOSURE OF THE PCSM BMP AND THE RELATED OBLIGATIONS TO THE ORIGINAL COPIES OF A TITLE SEARCH OF THE SUBJECT PROPERTY. THE RECORDED INSTRUMENT MUST IDENTIFY THE PCSM MAINTENANCE FOR PCSM BMPs AND PROVIDE NOTICE THAT THE RESPONSIBILITY FOR LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMP IS A COVENANT THAT RUNS WITH THE LAND THAT IS BINDING UPON AND ENFORCEABLE BY SUBSEQUENT GRANTEEES, AND PROVIDE PROOF OF FILING WITH THE NOTICE OF TERMINATION UNDER PA CODE SECTION 102.7(b)(5) (PERMIT TERMINATION).
- THE TOWNSHIP RESERVES THE RIGHT, BUT NOT THE RESPONSIBILITY, TO CONDUCT SUCH INSPECTIONS AS MAY BE NECESSARY TO ENFORCE SUCH ACTIONS AS NECESSARY TO ELIMINATE ANY IMMEDIATE THREAT TO THE PUBLIC HEALTH, SAFETY, OR WELFARE WITHOUT PRIOR NOTICE TO THE TOWNSHIP. THE TOWNSHIP FURTHER RESERVES THE RIGHT TO CHARGE THE PROPERTY OWNER FOR SUCH INSPECTIONS AND ACTIONS IN ACCORDANCE WITH THE TOWNSHIP CHARTER.
- THE PROFESSIONAL ENGINEER CONDUCTING THE INSPECTION SHALL BE REQUIRED TO SUBMIT A WRITTEN REPORT TO THE TOWNSHIP AND CONSERVATION DISTRICT WITHIN ONE MONTH OF THE COMPLETION OF THE INSPECTION. THE REPORT WILL PRESENT DOCUMENTATION AND INCLUDE PICTURES REGARDING THE CONDITION OF THE FACILITY AND RECOMMEND NECESSARY REPAIRS. ANY REPAIRS SHALL BE COMPLETED BY THE OWNER WITHIN ONE MONTH OF THE DATE OF THE ISSUE OF THE REPORT. THE REPORT SHALL ALSO DOCUMENT ALL PREVIOUS INSPECTIONS AND ALL PREVIOUS BMP REPAIR AND MAINTENANCE ACTIVITIES.
- THE PERSON RESPONSIBLE FOR PERFORMING LONG-TERM OPERATION AND MAINTENANCE MAY ENTER INTO AN AGREEMENT WITH ANOTHER PERSON INCLUDING THE TOWNSHIP DISTRICT, NONPROFIT ORGANIZATION, MUNICIPALITY, AUTHORITY, PRIVATE CORPORATION OR OTHER PERSON, TO TRANSFER THE RESPONSIBILITY FOR PCSM BMPs TO PERFORM LONG-TERM OPERATION AND MAINTENANCE AND PROVIDE NOTICE THEREOF TO THE DEPARTMENT.
- STORMWATER MANAGEMENT BMP AREAS SHALL BE INSPECTED BY A REGISTERED PROFESSIONAL ENGINEER LICENSED IN THE COMMONWEALTH OF PENNSYLVANIA ON BEHALF OF THE APPLICANT OR RESPONSIBLE ENTITY (INCLUDING THE TOWNSHIP ENGINEER FOR DEDICATED FACILITIES) ON THE FOLLOWING BASIS:
  - ANNUALLY FOR THE FIRST FIVE (5) YEARS.
  - ONCE EVERY THREE (3) YEARS THEREAFTER.
- ANY EROSION CAUSED BY DISCHARGES FROM THE BMP SHALL BE IMMEDIATELY REPAIRED AND STABILIZED.
- VEGETATION SHOULD BE MAINTAINED TO AT LEAST 85% COVER OF THE EMERGENT VEGETATION ZONE AND BUFFER AREA.
- SEDIMENT SHOULD BE REMOVED FROM THE FOREBAY BEFORE IT OCCUPIES 50% OF THE FOREBAY, TYPICALLY EVERY 3 TO 4 WEEKS.
- ANY DEFICIENCIES FOUND BY THE OWNER DURING HIS OR HER INSPECTIONS SHALL BE CORRECTED AS SOON AS POSSIBLE, BUT NO LONGER THAN ONE MONTH FROM DISCOVERY.
- NO BMP OR MAN-MADE CONVEYANCE MAY BE USED BY THE OWNER OR OTHERS FOR ANY PURPOSE OTHER THAN ITS INTENDED STORMWATER CONTROL FUNCTION.

**BMP DISCHARGE NOTE**  
 ANY EROSION CAUSED BY DISCHARGES FROM THE PROPOSED BMP FACILITIES SHALL BE REPAIRED AND STABILIZED.

**PCSM REPORTING AND RECORDKEEPING**  
 THE PCSM PLAN, INSPECTION REPORTS AND MONITORING RECORDS SHALL BE AVAILABLE FOR REVIEW AND INSPECTION BY WEST WHITELAND TOWNSHIP OR THE CONSERVATION DISTRICT.

**MAINTENANCE OWNERSHIP**  
 UPON COMPLETION OF THE PROPOSED BMP'S, OWNERSHIP & MAINTENANCE RESPONSIBILITIES SHALL BE TRANSFERRED FROM THE NPDES PERMITTEE TO THE INDIVIDUAL PROPERTY OWNERS.

**RESPONSIBLE PARTY DURING CONSTRUCTION**  
 (CONSTRUCTION & STABILIZATION OF POST CONSTRUCTION BMP'S) THE SITE CONTRACTOR IS RESPONSIBLE FOR THE BMP'S UNTIL THE NPDES PERMIT NOTICE OF TERMINATION (NOT) IS EXECUTED.

**RESPONSIBLE PARTY DURING OWNERSHIP**  
 (ON-GOING OPERATION & MAINTENANCE OF POST CONSTRUCTION BMP'S) THE PROPERTY OWNER(S) SHALL BE RESPONSIBLE FOR THE BMP'S ON THEIR LOT.

**ANTICIPATED CONSTRUCTION WASTES:**

- TREES: TREES SHALL BE CHIPPED AND REMOVED OFFSITE FOR USE AS MULCH.
- BUILDING MATERIALS: BUILDING MATERIALS SHALL BE REMOVED, RECYCLED AND DISPOSED OF PER THE CONSTRUCTION WASTE DISPOSAL NOTE BELOW.
- ROCK WASTE: ALL ROCKS SUITABLE FOR LANDSCAPING USES SHALL BE USED ON-SITE OR AT ANOTHER FACILITY.
- SOIL & SEDIMENT WASTE: ALL EXCESS SOIL SHALL BE USED ON-SITE AS FILL MATERIAL WHERE POSSIBLE. ANY EXCESS MATERIAL NOT USED ON-SITE MAY BE DISPOSED AT A FACILITY WITH A VALID EARTH DISTURBANCE AND WASTE MANAGEMENT PLAN.

2. ALL SEDIMENT REMOVED DURING MAINTENANCE AND CLEANING OF EROSION AND SEDIMENTATION CONTROL STRUCTURES SHALL BE INCORPORATED INTO THE CONSTRUCTION OF A STORMWATER CONTROL STRUCTURE. EXCESS MATERIAL REMOVED FROM EROSION AND SEDIMENTATION CONTROL MEASURES THAT CANNOT BE INCORPORATED INTO THE CONSTRUCTION SHALL BE REMOVED AND MAY ONLY BE DISPOSED AT A FACILITY WITH A VALID EARTH DISTURBANCE AND NPDES PERMIT APPROVED AND WHERE ALL BMPs ARE PROPERLY INSTALLED.

**CONSTRUCTION WASTE DISPOSAL NOTE:**  
 ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA CODE 2601 ET SEQ., 2711, AND 2801 ET SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.

**VALLEY CREEK ATTRIBUTES**

**DESIGNATION:**  
 VALLEY CREEK HAS A PA CODE CHAPTER 93 CLASSIFICATION OF COLD WATER FISHES (CWF).

**IMPACTMENTS:**  
 SOURCES:  
 URBAN RUNOFF/STORM SEWERS (CAT 4C)  
 URBAN RUNOFF/STORM SEWERS (CAT 4A)

CAUSES:  
 FLOW REGIME MODIFICATION  
 HYDROLOGIC ALTERATION  
 SILTATION

**JMR ENGINEERING, LLC**

PROFESSIONAL CIVIL ENGINEERING • LAND PLANNING SERVICES  
 108 SCHUBERT DRIVE • DOWNTOWN, PA 19335  
 VOICE: (484) 880-7342  
 EMAIL: ADMIN@JMRENGINEERING.COM  
 WEBSITE: WWW.JMRENGINEERING.COM

**JOHN M. ROBINSON**  
 REGISTERED PROFESSIONAL ENGINEER  
 PENNSYLVANIA  
 ENGINEER NUMBER PE050671

**CALL BEFORE YOU DIG!**  
 1-800-242-1776  
 PCCS SERIAL NUMBER:  
 20180261664 (NW)  
 20180261665 (EW)

**UTILITY USERS LIST**

USERS	RESPONSES
AQUA PENNSYLVANIA, INC.	
TRUCKS EASTERN TRANSMISSION, LP	
AT&T LOCAL SERVICES	
TRANSCONTINENTAL GAS PIPELINE	
BUCKEYE PARTNERS	
VERISON PENNSYLVANIA, INC.	
COMCAST CABLE	
WEST WHITELAND TOWNSHIP	
COMCAST CABLE COMMUNICATIONS, INC.	
WILET COMMUNICATIONS, LLC	
EAST WHITELAND TOWNSHIP	
LEVEL COMMUNICATIONS	
PECO ENERGY	
FPL INTERSTATE ENERGY COMPANY	
SUNOCO PIPELINE, LP	

**PLAN REVISIONS**

REV. DATE	DESCRIPTION OF CHANGES
1 03/19/24	REVISED PER WWT TOWNSHIP REVIEW COMMENTS
2 12/03/25	NO REVISION THIS SHEET
3 12/15/25	REVISED SITE LAYOUT
4 02/03/26	UPDATED MRC CONVEYANCE NETWORKS

**PROJECT:**  
**PRELIMINARY/FINAL DEVELOPMENT PLAN FOR DATA CENTERS**

**LOCATION:**  
 215 VALLEY CREEK BLVD.  
 EXTON, PA 19341  
**WEST WHITELAND TOWNSHIP CHESTER COUNTY, PA**

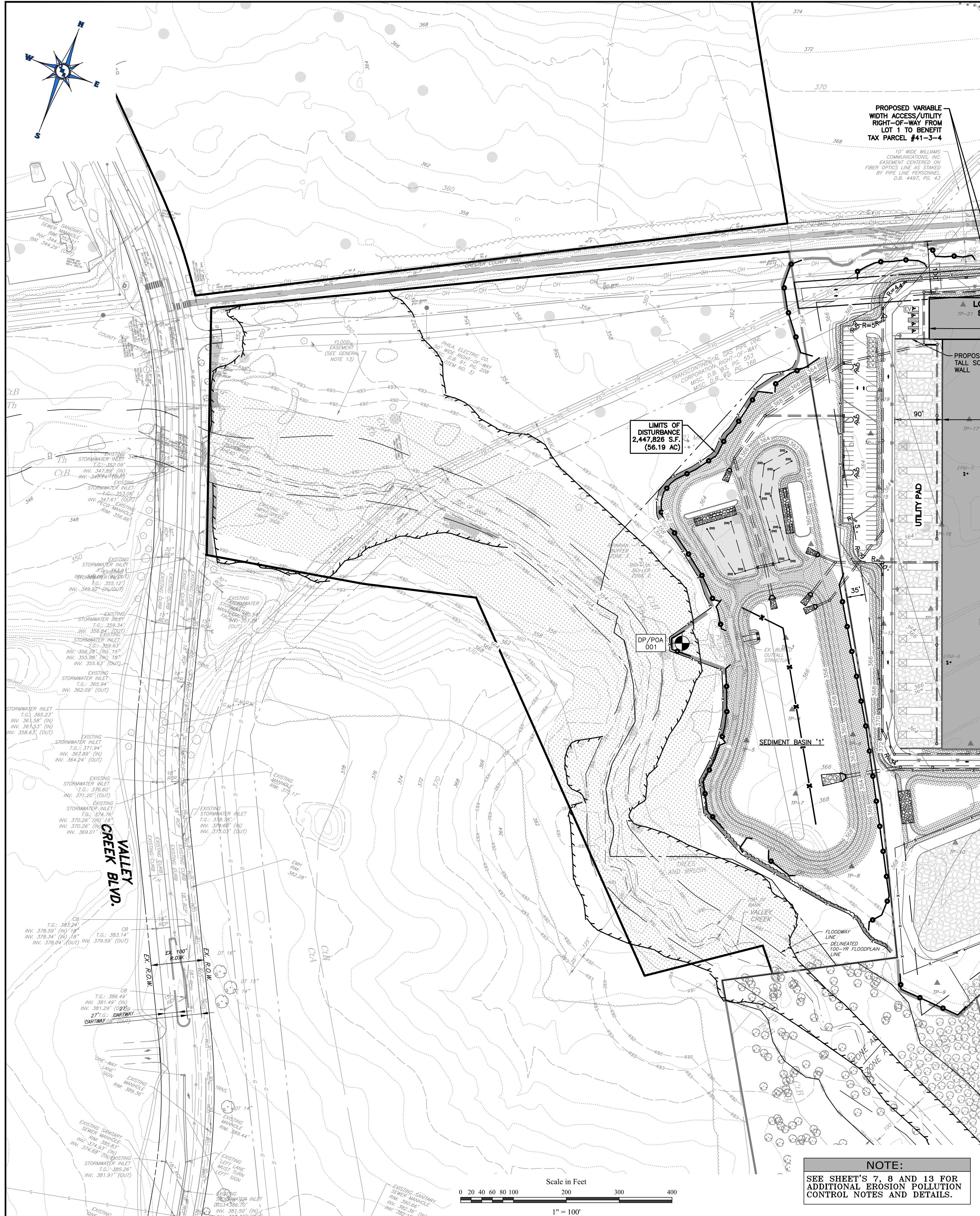
**PARCELS:**  
**TAX PARCEL NUMBER:**  
 41-3-4

**CLIENT:**  
**SENTINEL GREEN FIG, LLC**  
 505 5TH AVE, FLOOR 27  
 NEW YORK, NY 10017

**PROJECT No.:** 1508-B  
**SURVEY REF.:** 1195-B (DSS)  
**DRAWN BY:** E.C.R.  
**CHECKED BY:** J.M.R.  
**PLAN DATE:** JANUARY 31, 2024  
**PLAN SCALE:** 1" = 50'

**SHEET TITLE:**  
**PCSM PLAN**  
**SHEET NUMBER:**  
**6 OF 13**

Plot Date: Tue, Feb. 03, 2026  
 File # PCSM.DWG



**PROPOSED VARIABLE WIDTH ACCESS/UTILITY RIGHT-OF-WAY FROM LOT 1 TO BENEFIT TAX PARCEL #41-3-4**  
 10' WIDE WILLIAMS COMMUNICATIONS, INC. EASEMENT CENTERED ON FIBER OPTICS LINE AS STAKED BY PIPE LINE PERSONNEL D.B. 4497, PG. 43

**LIMITS OF DISTURBANCE 2,447,828 SF. (56.19 AC)**

**NOTE:**  
 SEE SHEET'S 7, 8 AND 13 FOR ADDITIONAL EROSION POLLUTION CONTROL NOTES AND DETAILS.

LEGEND		EXISTING	PROPOSED
---	PROPERTY LINE		N/A
---	ADJACENT PROPERTY LINE		N/A
○	IRON PIN		N/A
□	CONCRETE MONUMENT		N/A
---	RIGHT-OF-WAY LINE		N/A
---	FLOODPLAIN LINE		N/A
---	FLOODWAY		N/A
---	RIPARIAN BUFFER ZONE 1		N/A
---	RIPARIAN BUFFER ZONE 2		N/A
---	RIPARIAN BUFFER ZONE 3		N/A
---	ASPHALT PAVEMENT		
---	CURB		
---	BUILDING		
○	SIGN		N/A
---	SANITARY SEWER LINE		
○	SANITARY SEWER MANHOLE		
---	WATER LINE		
○	FIRE HYDRANT		
W.V. ○	WATER VALVE		N/A
W.M. ○	WATER METER		N/A
G.V. ○	GAS VALVE		N/A
G.V. ○	GAS LINE		N/A
O.H.E. ○	OVERHEAD ELECTRIC LINE		N/A
UG	UNDERGROUND ELECTRIC LINE		
○	UTILITY POLE		N/A
X	FENCELINE		X
---	CONTOUR LINE		500
---	TREE LINE		N/A
---	DECIDUOUS TREE		N/A
---	CONIFEROUS TREE		N/A
---	SLOPES (15%-25%)		N/A
---	SLOPES (>25%)		N/A
---	SLOPE MATTING		
---	CONCRETE WASHOUT		
---	SILT SOCK / SUPER SILT		
---	SILT SOCK / SUPER SILT (S) DENOTES NO. IN EACH CALCS		
---	INLET PROTECTION		
---	LIMITS OF DISTURBANCE		

**NOTE:**  
 SEE SHEET'S 8 AND 12 FOR ADDITIONAL EROSION POLLUTION CONTROL NOTES AND DETAILS.

**TEMPORARY SEED MIXTURE:**  
 SITE PREPARATION: APPLY 1 TON OF SPECIALIZED-GRASS LIMESTONE PER ACRE PLUS FERTILIZER AT THE RATE OF 50-50-50 PER ACRE. WORK INTO THE SOIL, WHERE POSSIBLE. SOIL TEST BEFORE APPLICATION. MAINTAIN SOIL COVER AFTER SEEDING. MULCH WITH HAY OR STRAW AT A RATE OF 1/2 TON PER ACRE.

SPECIES	LBS/ACRE
FOR SPRING SEEDING (UP TO JUNE 15)	
ANNUAL RYEGRASS	40 (3 BU)
PERENNIAL RYEGRASS	64 LBS DATS (7 BU) + 120 (3 BU)
OR SPRING OATS PLUS RYEGRASS	PERENNIAL RYEGRASS 120 (3 BU)
OR WINTER WHEAT	40
OR SPRING OATS	40
OR SPRING OATS	40
OR WINTER WHEAT	160 (3 BU)
OR WINTER RYE	160 (3 BU)
FOR LATE SPRING & SUMMER SEEDING (JUNE 16 TO AUGUST 15)	
ANNUAL RYEGRASS	40
OR SPRING OATS	40
OR SPRING OATS	40
OR WINTER WHEAT	160 (3 BU)
OR WINTER RYE	160 (3 BU)
FOR LATE SUMMER & FALL SEEDING (AUGUST 16 AND LATER)	
ANNUAL RYEGRASS	40
OR WINTER WHEAT	160 (3 BU)
OR SPRING OATS	160 (3 BU)
(CAN BE USED BUT WILL KILL)	

**"SHADE MIX" SEED MIXTURE:**  
 FOR WELLS TO MODERATELY DRAINED SOILS IN HEAVY SHADE.  
 SPRING SEEDING: 1 TON PER ACRE TO LBS/AC  
 PERENNIAL RYEGRASS 120 (3 BU)  
 TO LBS/AC

**PERMANENT SEED MIXTURE:**

NAME	PARTS BY WEIGHT	PURITY	GERMINATION
KENTUCKY BLUE GRASS VARIETIES	30%	95%	85%
PERENNIAL RYEGRASS	30%	95%	85%
PENNSYLVANIA FESCUE	30%	95%	85%
ANNUAL RYEGRASS	10%	95%	85%

MULCH SHALL BE HAY WHICH IS FREE OF WEEDS AND SEEDS, NOT WOLLY OR ROTTEN, AND SHALL BE APPLIED TO ALL AREAS AT A RATE OF 1/2 TON PER ACRE. ON STEEP SLOPES, MULCH SHALL BE APPLIED TO THE UPPER PORTION OF THE SLOPE. MULCH SHALL BE MECHANICALLY APPLIED AT THE RATE OF 1/2 TON PER ACRE.

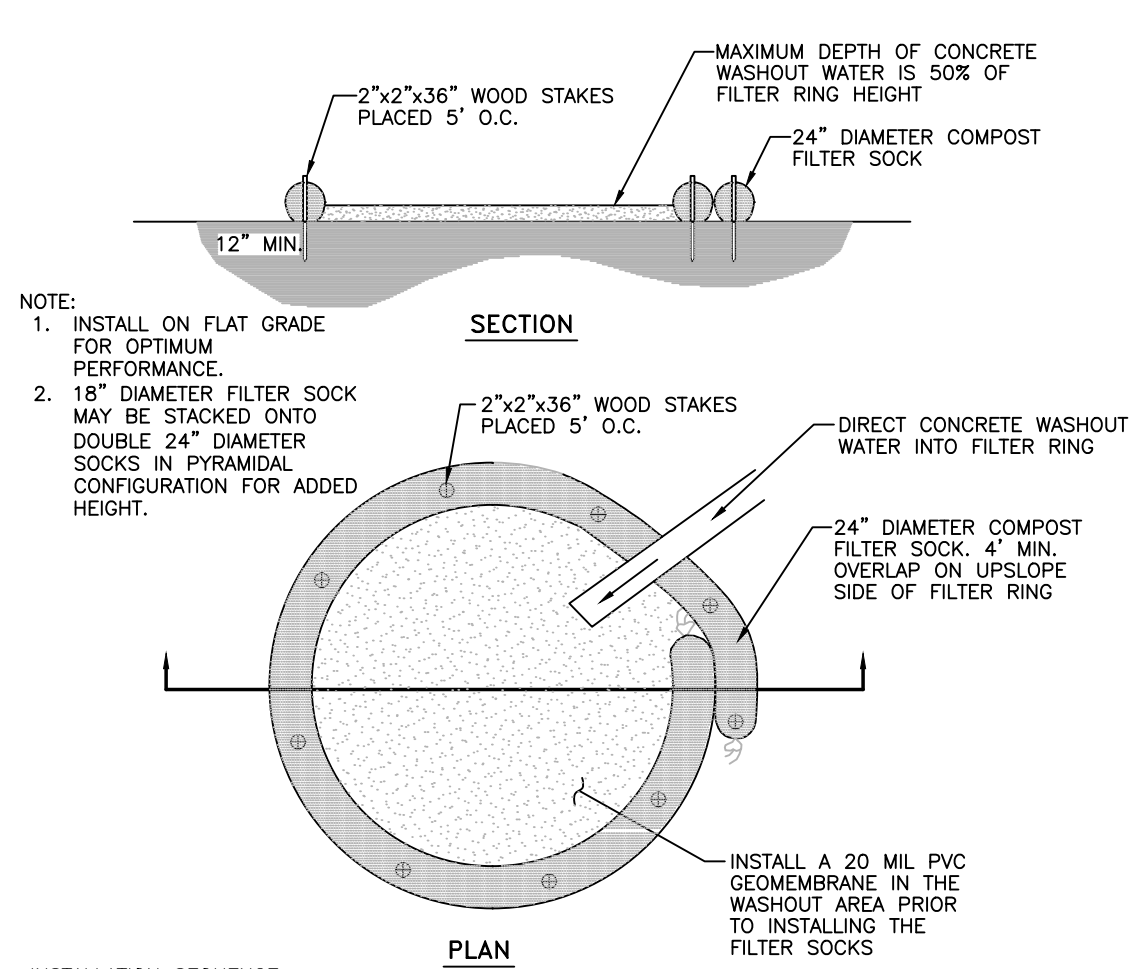
**MULCH, LIME, FERTILIZER, SOD & SEED NOTES:**  
 MULCH: APPLIED MULCH SHALL BE EITHER HAY/STRAW OR HYDROMULCH. HAY/STRAW MULCH SHALL BE FREE OF WEEDS AND SEEDS, NOT WOLLY OR ROTTEN, AND SHALL BE APPLIED TO ALL AREAS AT A RATE OF 1/2 TON PER ACRE. ON STEEP SLOPES, MULCH SHALL BE APPLIED TO THE UPPER PORTION OF THE SLOPE. MULCH SHALL BE MECHANICALLY APPLIED AT THE RATE OF 1/2 TON PER ACRE.

**LIME:** AGRICULTURAL GRADE LIME SHALL BE APPLIED TO ALL DISTURBED AREAS PRIOR TO SEEDING AT THE RATE OF FOUR (4) TONS PER ACRE.

**FERTILIZER:** 10-20-20 FERTILIZER SHALL BE APPLIED TO ALL DISTURBED AREAS PRIOR TO SEEDING AT THE RATE OF ONE THOUSAND (1,000) LBS PER ACRE.

**SOD:** KENTUCKY BLUEGRASS SOD (IF CALLED FOR) SOD SHALL BE GROWN UNDER THE SUPERVISION OF THE PENNSYLVANIA DEPARTMENT OF AGRICULTURE UNDER THE SUPERVISION OF ONLY BLUE TAG CERTIFIED SEED.

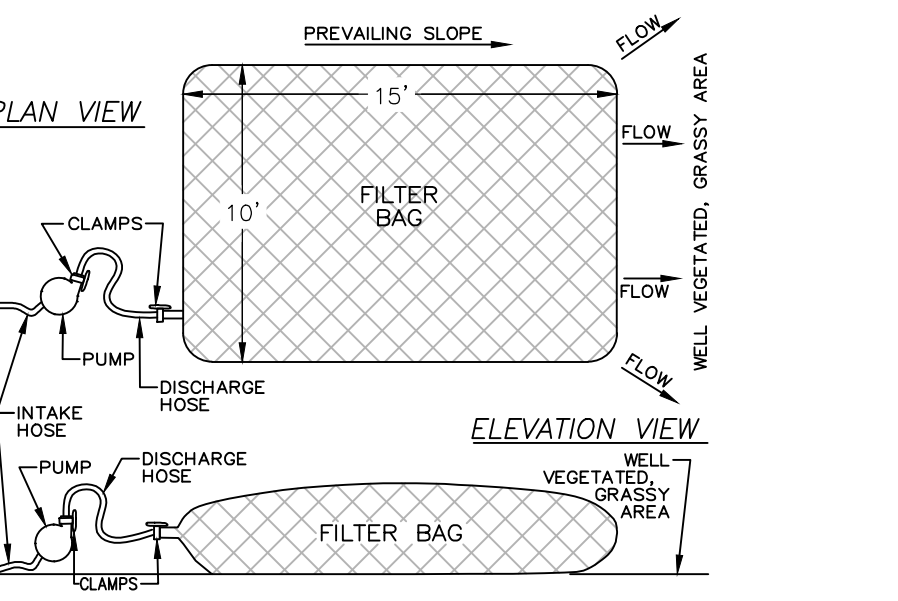
**SEED:** ALL SEED SHALL BE FRESH, ALL NEW CROP SEED SHALL BE USED IN ACCORDANCE WITH THE U.S. DEPARTMENT OF AGRICULTURE RULES AND REGULATIONS UNDER THE FEDERAL SEED ACT. SEED SHALL BE TESTED TO KNOW PERCENT BY WEIGHT PURITY AND GERMINATION. THE GRADES SHALL BE MECHANICALLY APPLIED AT THE RATE OF 1/2 TON PER ACRE.



**INSTALLATION SEQUENCE:**  
 1. PREPARE SURFACE BY REMOVING ANY DEBRIS AND ENSURING A SMOOTH CONSISTENT SURFACE IS PROVIDED.  
 2. INSTALL PVC GEOMEMBRANE IN WASHOUT AREA.  
 3. COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL OVERLAP TO FORM A CIRCLE AS SHOWN.  
 4. UPON REMOVAL OF THE WASHOUT AREA, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.  
 5. ALL CONCRETE AND THE GEOMEMBRANE MUST BE REMOVED FROM THE SITE AND DISPOSED OF AT AN APPROVED DEF FACILITY.

**MAINTENANCE NOTES:**  
 WASHOUT AREA SHALL BE INSPECTED DAILY. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.

**INSPECTIONS:**  
 INSPECTIONS MUST BE PERFORMED ON A WEEKLY BASIS. ALL SITE INSPECTIONS WILL BE DOCUMENTED IN AN INSPECTION LOG KEPT FOR THIS PURPOSE. THE COMPLIANCE ACTIONS AND THE DATE, TIME AND NAME OF THE PERSON CONDUCTING THE INSPECTION LOG WILL BE KEPT ON SITE AT ALL TIMES AND MADE AVAILABLE TO THE DISTRICT UPON REQUEST.



**PUMPED WATER FILTER BAG**  
 (NOT TO SCALE)

- NOTES:**
- FOR USE DURING STREAM CROSSING, DOWNSTREAM, AND/OR IF GROUNDWATER IS ENCOUNTERED OR SURFACE WATER ACCUMULATES DURING GRADING AND CONSTRUCTION ACTIVITIES, ANY WATER ENCOUNTERED WITHIN THE PROJECT AREA SHALL BE REMOVED THROUGH THE SEDIMENT FILTRATION BAG PRIOR TO DISCHARGE.
  - THE FILTRATION BAG SHOULD BE AN ADEQUATE "DORTRAG" OR APPROVED EQUIVALENT MADE FROM NON-WOVEN GEOTEXTILE MATERIAL WITH HIGH STRENGTH, DOUBLE STITCHED "J" TYPE SEAMS; THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS.
  - A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES MUST BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED.
  - BAGS SHALL BE LOCATED IN WELL-VEGETATED FORESTED AREAS & DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS, WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE FLOW PATH SHALL BE PROVIDED. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5%.
  - THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED.
  - THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHOULD BE PLACING AND SCREENED.

**NRCS SOILS IDENTIFICATION TABLE**

SYMBOL DESCRIPTION:	HYDROLOGIC GROUP	FARMLAND CLASSIFICATION	LAND CAPABILITY	SEASONAL HIGH WATER DEPTH	DEPTH TO BEDROCK
CB CONESTOGA SOIL LOAM, 3 TO 8 PERCENT SLOPES	B	NOT PRIME	2e	>80 INCHES	60"-99"

NOTE: THE ENTIRE SITE IS UNDERLAIN WITH THE ABOVE SOIL TYPE.

**PROCEDURES FOR REDUCING THE RISK OF SINKHOLE FORMATION AND FOR SINKHOLE REMEDIATION**

**GENERAL:**  
 1. THE SITE IS UNDERLAIN BY LIMESTONE AT DEPTH. AS SUCH, THERE IS AN INHERENT RISK OF SINKHOLE FORMATION WHICH CAN BE CONTROLLED, BUT NOT ELIMINATED. THE PROCEDURES OUTLINED HEREIN ARE INTENDED TO REDUCE THE RISK FOR SINKHOLE FORMATION AT THE SITE DURING AND AFTER CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR THE IMPLEMENTATION OF THESE PROCEDURES, WHICH ARE INCIDENTAL TO THE CONTRACT. IN ADDITION, SPECIFICATIONS FOR THE REMEDIATION OF SINKHOLES, IF NECESSARY, ARE INCLUDED.

- PROCEDURES FOR SINKHOLE RISK REDUCTION**
- PRIOR TO BEGINNING OTHER EARTHWORK ACTIVITIES, CONSTRUCT PERMANENT AND/OR TEMPORARY DRAINAGE FACILITIES AS SHOWN ON THE PLANS, INCLUDING THE STORMWATER BASIN AND OUTLET CONTROL STRUCTURE. CONSTRUCT THE REQUIRED EROSION AND SEDIMENTATION CONTROLS AS SHOWN ON THE PLANS.
  - CONFINE EARTH DISTURBANCE ACTIVITIES TO THE AREA REQUIRED FOR EACH DAY'S WORK.
  - LIMIT THE EXTENT OF UTILITY AND FOUNDATION EXCAVATIONS TO THAT WHICH CAN BE BACKFILLED EACH DAY. FOR THOSE EXCAVATIONS WHICH ARE LEFT OPEN OVERNIGHT (PARTICULARLY WHEN RAIN OR SNOW IS FORECASTED), AND BEFORE EACH WEEKEND, CONSTRUCT DIVERSION Dikes OR BERMUS AROUND THESE OPENINGS TO LIMIT THE AMOUNT OF RUNOFF WHICH CAN COLLECT IN THEM. AFTER A PRECIPITATION EVENT, IMMEDIATELY REMOVE ANY STANDING WATER FROM SUCH EXCAVATIONS.
  - AT THE END OF EACH DAY (PARTICULARLY WHEN RAIN OR SNOW IS FORECASTED), AND BEFORE EACH WEEKEND, GRADE THE DISTURBED AREAS OF THE SITE TO DRAIN TOWARDS THE PREVIOUSLY CONSTRUCTED DRAINAGE FACILITIES, AND SEAL-ROLL THE DISTURBED SOIL USING A SMOOTH-DRUM ROLLER. AFTER A PRECIPITATION EVENT, IMMEDIATELY DISPERSIVE OR REMOVE ANY PONDING WATER.

**REMEDIATION OF SINKHOLES**

THE FOLLOWING PROCEDURES ARE RECOMMENDED FOR THE REMEDIATION OF SINKHOLES WHICH OCCUR DURING CONSTRUCTION. THIS WORK SHALL BE PERFORMED UNDER THE DIRECTION OF A GEOTECHNICAL ENGINEER.

- CAREFULLY REMOVE ANY LOOSE OR DISTURBED SOIL AND ROCK FROM THE SINKHOLE OPENING IN AN ATTEMPT TO EXPOSE THE THROAT.
- IF THE THROAT REMAINS OPEN, FILL AND PLUG THE OPENING USING CONVENTIONAL, LOW-STRENGTH CONCRETE (2,500 PSI, 6" SLUMP). PROVIDE SUFFICIENT CONCRETE TO ALLOW IT SETTLE INTO THE VOID. AFTER THE CONCRETE HAS CURED, BACKFILL THE REMAINING OPENING WITH COMPACTED LIFTS OF NATIVE SOIL IN ACCORDANCE WITH THE GEOTECHNICAL SPECIFICATIONS.
- IF THE THROAT COLLAPSES OR DISAPPEARS, COMPACT THE BOTTOM OF THE EXCAVATION AND BACKFILL THE EXCAVATION WITH NATIVE SOIL IN ACCORDANCE WITH THE EARTHWORK SPECIFICATIONS.
- FOR DEEP SINKHOLES (I.E. DEEPER THAN 8'), EACH LIFT OF BACKFILL SHOULD BE BENCHED A MINIMUM OF TWELVE INCHES (12") INTO THE SURROUNDING SOIL.
- FOR SINKHOLES WHICH OCCUR WITHIN THE BUILDING AREA OR BENEATH THE BUILDING FOUNDATIONS, MORE SUBSTANTIAL MEASURES MAY BE REQUIRED, SUCH AS COMPACTION GROUTING OR ALTERNATIVE SUPPORT SYSTEMS. IF REQUIRED, THESE PROCEDURES WILL BE SPECIFIED IN MORE DETAIL BY THE GEOTECHNICAL ENGINEER.
- FOR PERSISTENT SINKHOLE ZONES WITHIN THE PAVED AREAS OF THE SITE, THE GEOTECHNICAL ENGINEER MAY RECOMMEND AND PROVIDE DETAILS AND SPECIFICATIONS FOR THE USE OF GEOSYNTHETICS TO SUPPORT THE PAVEMENT SUBGRADE OVER THIS AREA.

**JM ENGINEERING, LLC**  
 PROFESSIONAL CIVIL ENGINEERING • LAND PLANNING SERVICES  
 108 SCHUBERT DRIVE • DOWNTOWN, PA 19335  
 VOICE: (484) 880-7342  
 FAX: (484) 880-7342  
 EMAIL: ADMIN@JMENGINEERING.COM  
 WEBSITE: WWW.JMENGINEERING.COM

**JOHN M. ROBINSON**  
 PROFESSIONAL ENGINEER  
 PENNSYLVANIA LICENSE NO. PE056271

**UTILITY USERS LIST**

USERS	RESPONSES
AQUA PENNSYLVANIA, INC.	
PAKAS EASTERN TRANSMISSION, LP	
AT&T LOCAL SERVICES	
TRANSCONTINENTAL GAS PIPELINE	
BUCKEYE PARTNERS	
VERISON PENNSYLVANIA, INC.	
COMCAST CABLE	
WEST WHITELAND TOWNSHIP	
COMCAST CABLE COMMUNICATIONS, INC.	
WILET COMMUNICATIONS, LLC	
EAST WHITELAND TOWNSHIP	
LEVEL 3 COMMUNICATIONS	
PECO ENERGY	
FPL INTERSTATE ENERGY COMPANY	
SUNEDIS, INC.	
SUNOCO PIPELINE, LP	

**CALL BEFORE YOU DIG!**  
 PENNSYLVANIA DEPARTMENT OF REVENUE  
 1-800-242-1776  
 POCS SERIAL NUMBER:  
 20180261664 (WWT),  
 20180261665 (CWT)

**PLAN REVISIONS**

REV. DATE	DESCRIPTION OF CHANGES
1 03/19/24	REVISED PER WWT TOWNSHIP REVIEW COMMENTS
2 12/03/25	ADDED TREE PROTECTION FENCING
3 12/15/25	REVISED SITE LAYOUT
4 02/03/26	UPDATED MRC CONVEYANCE NETWORKS

**PRELIMINARY/FINAL LAND DEVELOPMENT PLAN FOR DATA CENTERS**

LOCATION:  
 215 VALLEY CREEK BLVD.  
 EXTON, PA 19341

WEST WHITELAND TOWNSHIP  
 CHESTER COUNTY, PA

TAX PARCEL NUMBER:  
 41-3-4

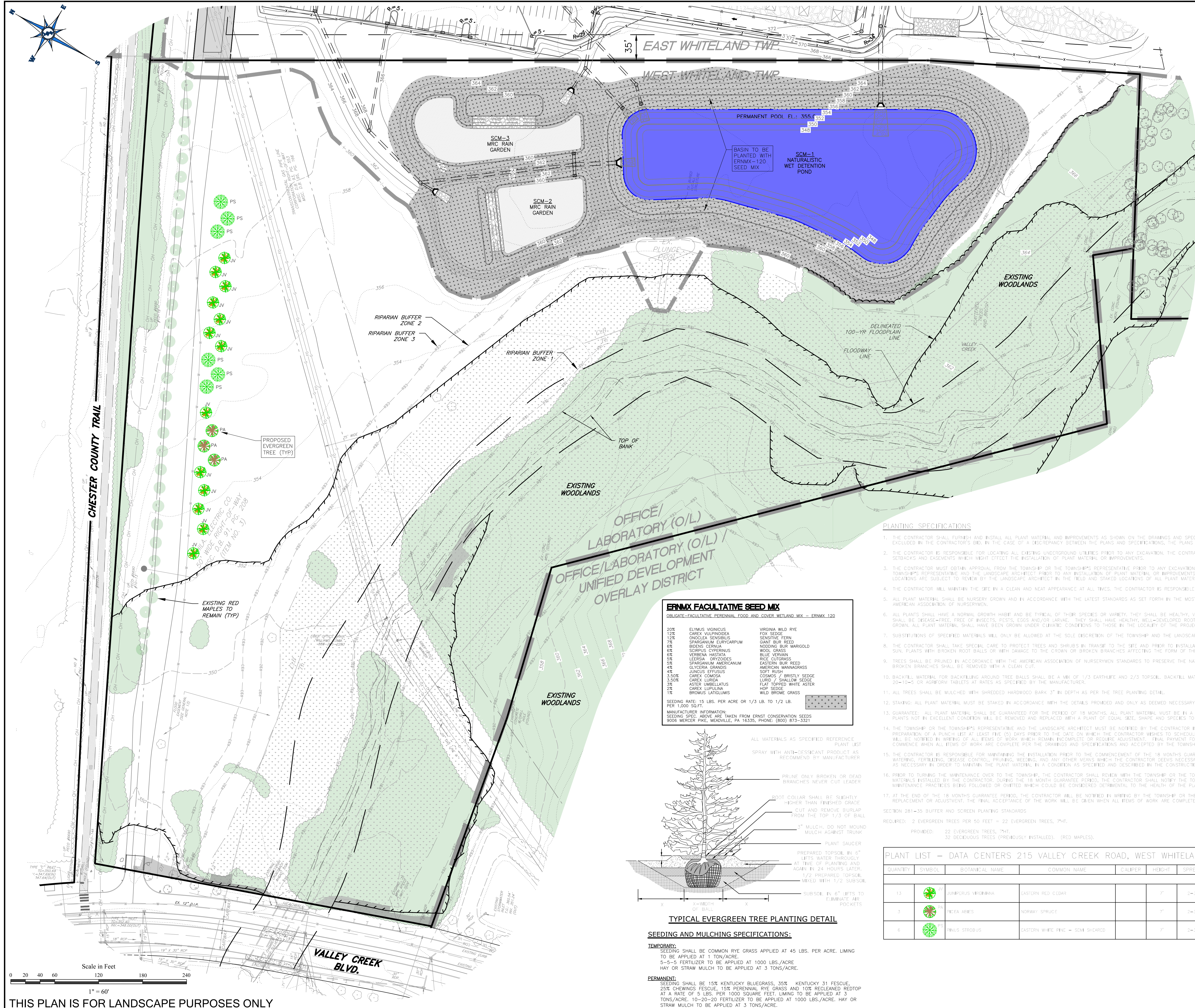
CLIENT:  
 SENTINEL GREEN FIG, LLC

505 5TH AVE, FLOOR 27  
 NEW YORK, NY 10017

PROJECT No.: 1508-B  
 SURVEY REF.: 1195-B (DSS)  
 DRAWN BY: E.C.R.  
 CHECKED BY: J.M.R.  
 PLAN DATE: JANUARY 31, 2024  
 PLAN SCALE: 1" = 100'

**E&S CONTROL PLAN**  
 SHEET NUMBER:  
**7 OF 13**  
 Plot Date: Tue, Feb. 03, 2026  
 File: 7 EROSION.DWG



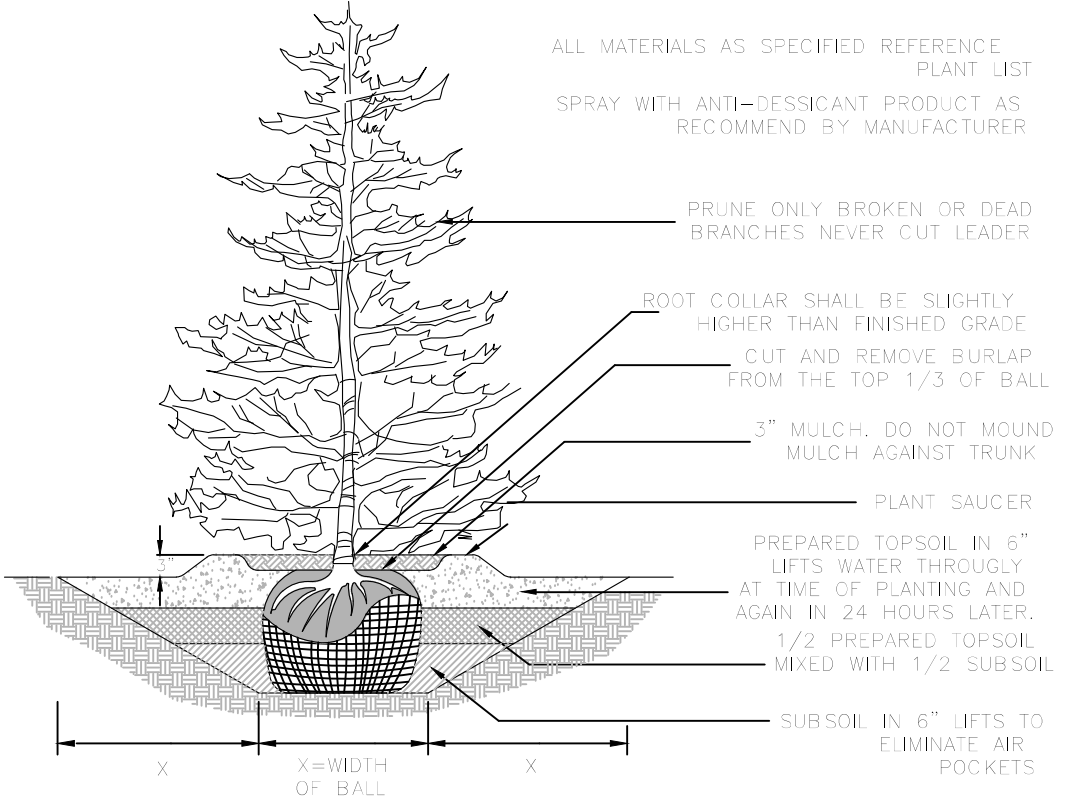


LEGEND		EXISTING	PROPOSED
---	PROPERTY LINE		N/A
---	ADJACENT PROPERTY LINE		N/A
o	IRON PIN		N/A
□	CONCRETE MONUMENT		N/A
---	BUILDING SETBACK LINE		N/A
---	RIGHT-OF-WAY LINE		N/A
---	FLOODPLAIN LINE		N/A
---	FLOODWAY		N/A
---	RIPARIAN BUFFER ZONE 1		N/A
---	RIPARIAN BUFFER ZONE 2		N/A
---	RIPARIAN BUFFER ZONE 3		N/A
---	ASPHALT PAVEMENT		N/A
---	CURB		N/A
---	BUILDING		N/A
---	CONCRETE		N/A
---	GRAVEL		N/A
---	SIGN		N/A
---	SANITARY SEWER LINE		N/A
---	SANITARY SEWER FORCE MAIN		N/A
---	SANITARY SEWER MANHOLE		N/A
---	WATER LINE		N/A
---	STORM SEWER LINE		N/A
---	STORM SEWER MANHOLE		N/A
---	FIRE HYDRANT		N/A
---	WATER VALVE		N/A
---	WATER METER		N/A
---	GAS LINE		N/A
---	GAS VALVE		N/A
---	COMMUNICATIONS LINE		N/A
---	OVERHEAD ELECTRIC LINE		N/A
---	UNDERGROUND ELECTRIC LINE		N/A
---	UTILITY POLE		N/A
---	FENCELINE		N/A
---	CONTOUR LINE		N/A
---	TREE LINE		N/A
---	DECIDUOUS TREE		N/A
---	CONIFEROUS TREE		N/A
---	SLOPES (15%-25%)		N/A
---	SLOPES (>25%)		N/A

**ERNIX FACULTATIVE SEED MIX**  
OBLIGATE-FACULTATIVE PERENNIAL FOOD AND COVER WETLAND MIX - ERNIX 120

20%	ELYMUS VIGINICUS	VIRGINIA WILD RYE
12%	CAREX VULPINOIDEA	FOX SEDGE
12%	PHACELIA SENSIBILIS	SENSITIVE FERN
7%	SPARGANUM EURYCARPUM	GIANT BUR REED
6%	BIZONIA CERIFERA	MOODING BUR MARGOLD
6%	SCRIPUS CYPERINUS	WOOD GRASS
6%	VERBENA HASTATA	BLUE VERVAIN
5%	LEERSIA DRYOIDES	RICE CUTGRASS
5%	SPARGANUM AMERICANUM	EASTERN BUR REED
4%	GLYCYRRHA GRACIOSA	AMERICAN MANNAGRASS
3.5%	JUNCUS ETIOPIUS	SOFT RUSH
3.5%	CAREX COMOSA	COSMOS / BRISTLY SEDGE
3.5%	CAREX LURIDA	LURID / SHALLOW SEDGE
3%	ASTER UMBELLATUS	FLAT TOPPED WHITE ASTER
1%	CAREX LUPULINA	HOP SEDGE
1%	BROMUS LATIQUIS	WILD BROOME GRASS

SEEDING RATE: 15 LBS. PER ACRE OR 1/3 LB. TO 1/2 LB. PER 1,000 SQ. FT.  
MANUFACTURER INFORMATION: SEEDING SPEC ABOVE ARE TAKEN FROM ERNST CONSERVATION SEEDS 9006 MERCER PINE, MEADOWLE, PA 19335, PHONE: (800) 873-3321



**SEEDING AND MULCHING SPECIFICATIONS:**

**TEMPORARY:**  
SEEDING SHALL BE COMMON RYE GRASS APPLIED AT 45 LBS. PER ACRE. LIMING TO BE APPLIED AT 1 TON/ACRE.  
5-5-5 FERTILIZER TO BE APPLIED AT 1000 LBS./ACRE.  
HAY OR STRAW MULCH TO BE APPLIED AT 3 TONS/ACRE.

**PERMANENT:**  
SEEDING SHALL BE 15% KENTUCKY BLUEGRASS, 35% KENTUCKY 31 FESCUE, 25% CHEWINGS FESCUE, 15% PERENNIAL RYE GRASS AND 10% RECYCLED REDTOP AT A RATE OF 5 LBS. PER 1000 SQUARE FEET. LIMING TO BE APPLIED AT 3 TONS/ACRE, 10-20-20 FERTILIZER TO BE APPLIED AT 1000 LBS./ACRE. HAY OR STRAW MULCH TO BE APPLIED AT 3 TONS/ACRE.

**PLANTING SPECIFICATIONS**

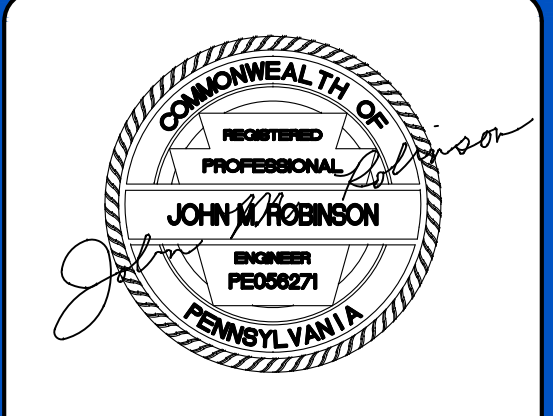
1. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL PLANT MATERIAL AND IMPROVEMENTS AS SHOWN ON THE DRAWINGS AND SPECIFIED IN THE PLANT LIST UNLESS OTHERWISE NOTED AND SPECIFICALLY EXCLUDED IN THE CONTRACTOR'S BID. IN THE CASE OF A DISCREPANCY BETWEEN THE PLANS AND SPECIFICATIONS, THE PLANS GOVERN.
  2. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION. THE CONTRACTOR IS ALSO RESPONSIBLE FOR LOCATING PROPERTY LINES, BUILDING SETBACKS AND EASEMENTS WHICH MIGHT AFFECT THE INSTALLATION OF PLANT MATERIAL OR IMPROVEMENTS.
  3. THE CONTRACTOR MUST OBTAIN APPROVAL FROM THE TOWNSHIP OR THE TOWNSHIP'S REPRESENTATIVE PRIOR TO ANY EXCAVATION OR INSTALLATION. THE CONTRACTOR MUST ALSO NOTIFY THE TOWNSHIP OR TOWNSHIP'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATION OF PLANT MATERIAL OR IMPROVEMENTS. PLANT LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE. FINAL LOCATIONS ARE SUBJECT TO REVIEW BY THE LANDSCAPE ARCHITECT IN THE FIELD AND STAKED LOCATIONS OF ALL PLANT MATERIAL AND IMPROVEMENTS MUST BE APPROVED PRIOR TO INSTALLATION.
  4. THE CONTRACTOR WILL MAINTAIN THE SITE IN A CLEAN AND NEAT APPEARANCE AT ALL TIMES. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE EACH DAY.
  5. ALL PLANT MATERIAL SHALL BE NURSERY GROWN AND IN ACCORDANCE WITH THE LATEST STANDARDS AS SET FORTH IN THE MOST RECENT EDITION OF THE STANDARDS FOR NURSERY STOCK OF THE AMERICAN ASSOCIATION OF NURSERMEN.
  6. ALL PLANTS SHALL HAVE A NORMAL GROWTH HABIT AND BE TYPICAL OF THEIR SPECIES OR VARIETY. THEY SHALL BE HEALTHY, WOODRIM, WELL-BRANCHED AND DENSELY FOLIATED WHEN IN LEAF. THEY SHALL BE DISEASE-FREE, FREE OF INSECTS, PESTS, EGGS AND/OR LARVAE. THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS. TREES AND SHRUBS SHALL BE FRESHLY DUG AND NURSERY GROWN. ALL PLANT MATERIAL SHALL HAVE BEEN GROWN UNDER CLIMATIC CONDITIONS TO THOSE IN THE LOCALITY OF THE PROJECT.
  7. SUBSTITUTIONS OF SPECIFIED MATERIALS WILL ONLY BE ALLOWED AT THE SOLE DISCRETION OF THE TOWNSHIP AND THE LANDSCAPE ARCHITECT.
  8. THE CONTRACTOR SHALL TAKE SPECIAL CARE TO PROTECT TREES AND SHRUBS IN TRANSIT TO THE SITE AND PRIOR TO INSTALLATION. TREES AND SHRUBS SHALL BE PROTECTED FROM DRYING WINDS AND SUN. PLANTS WITH BROKEN ROOT BALLS OR WITH DAMAGE TO THE CROWN OR BROKEN BRANCHES AFFECTING THE FORM OF THE PLANT WILL BE REJECTED.
  9. TREES SHALL BE PRUNED IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSERMEN STANDARDS TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL DEAD WOOD OR SUCKERS AND ALL BROKEN BRANCHES SHALL BE REMOVED WITH A CLEAN CUT.
  10. BACKFILL MATERIAL FOR BACKFILLING AROUND TREE BALLS SHALL BE A MIX OF 1/3 EARTHWORM AND 2/3 TOPSOIL. BACKFILL MATERIAL SHALL HAVE AT LEAST 15% ORGANIC MATTER. ADD FERTILIZER 20-10-5 OR EQUIVALENT TABLETS AT RATES AS SPECIFIED BY THE MANUFACTURER.
  11. ALL TREES SHALL BE MULCHED WITH SHREDED HARDWOOD BARK 3" IN DEPTH AS PER THE TREE PLANTING DETAIL.
  12. STAKING: ALL PLANT MATERIAL MUST BE STAKED IN ACCORDANCE WITH THE DETAILS PROVIDED AND ONLY AS DEEMED NECESSARY BY THE CONTRACTOR. REMOVE QUI WIRES AND STAKES AFTER TWO YEARS.
  13. GUARANTEE: ALL PLANT MATERIAL SHALL BE GUARANTEED FOR THE PERIOD OF 18 MONTHS. ALL PLANT MATERIAL MUST BE IN A VIGOROUS, HEALTHY CONDITION AT THE END OF THE GUARANTEE PERIOD. ANY PLANTS NOT IN EXCELLENT CONDITION WILL BE REMOVED AND REPLACED WITH A PLANT OF EQUAL SIZE, SHAPE, AND SPECIES TO THE ORIGINAL.
  14. THE TOWNSHIP OR THE TOWNSHIP'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT MUST BE NOTIFIED BY THE CONTRACTOR IN WRITING THAT THE WORK HAS BEEN COMPLETED AND REQUESTING THE PREPARATION OF A PLUNGE LIST AT LEAST FIVE (5) DAYS PRIOR TO THE DATE ON WHICH THE CONTRACTOR WISHES TO SCHEDULE AN INSPECTION. AFTER THE INSPECTION IS COMPLETED, THE CONTRACTOR WILL BE NOTIFIED IN WRITING OF ALL ITEMS OF WORK WHICH REMAIN INCOMPLETE OR REQUIRE ADJUSTMENT. FINAL PAYMENT FOR THE WORK WILL BE MADE AND THE 18 MONTHS GUARANTEE PERIOD WILL COMMENCE WHEN ALL ITEMS OF WORK ARE COMPLETE PER THE DRAWINGS AND SPECIFICATIONS AND ACCEPTED BY THE TOWNSHIP AND THE LANDSCAPE ARCHITECT.
  15. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE INSTALLATION PRIOR TO THE COMMENCEMENT OF THE 18 MONTHS GUARANTEE PERIOD. THE CONTRACTOR MUST MAINTAIN ALL PLANT MATERIAL BY WATERING, FERTILIZING, DISEASE CONTROL, PRUNING, WEEDING, AND ANY OTHER MEANS WHICH THE CONTRACTOR DEEMS NECESSARY INCLUDING REPLACING REPLACEMENT OF DEAD, STOLEN PLANT MATERIAL AS NECESSARY IN ORDER TO MAINTAIN THE PLANT MATERIAL IN A CONDITION AS SPECIFIED AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS.
  16. PRIOR TO TURNING THE MAINTENANCE OVER TO THE TOWNSHIP, THE CONTRACTOR SHALL REVIEW WITH THE TOWNSHIP OR THE TOWNSHIP'S REPRESENTATIVE THE PROPER CARE AND MAINTENANCE OF ALL MATERIALS INSTALLED BY THE CONTRACTOR. DURING THE 18-MONTH GUARANTEE PERIOD, THE CONTRACTOR SHALL NOTIFY THE TOWNSHIP OR THE TOWNSHIP'S REPRESENTATIVE IN WRITING OF ANY MAINTENANCE PRICES BEING FOLLOWED OR QUOTED WHICH COULD BE CONSIDERED DETRIMENTAL TO THE HEALTH OF THE PLANT MATERIAL OR HARMFUL TO THE REPRESENTATIVE.
  17. AT THE END OF THE 18 MONTHS GUARANTEE PERIOD, THE CONTRACTOR WILL BE NOTIFIED IN WRITING BY THE TOWNSHIP OR THE TOWNSHIP'S REPRESENTATIVE OF ALL ITEMS OF WORK WHICH REQUIRE REPLACEMENT OR ADJUSTMENT. THE FINAL ACCEPTANCE OF THE WORK WILL BE GIVEN WHEN ALL ITEMS OF WORK ARE COMPLETE AND ACCEPTED BY THE TOWNSHIP AND LANDSCAPE ARCHITECT.
- SECTION 281-35 BUFFER AND SCREEN PLANTING STANDARDS  
REQUIRED: 2 EVERGREEN TREES PER 50 FEET = 22 EVERGREEN TREES, 74'.  
PROVIDED: 22 EVERGREEN TREES, 74'.  
32 DECIDUOUS TREES (PREVIOUSLY INSTALLED). (RED MAPLES).

**PLANT LIST - DATA CENTERS 215 VALLEY CREEK ROAD, WEST WHITELAND TOWNSHIP**

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	SPREAD	COMMENTS
13	PS	SCRIPUS VIRGINIANA	EASTERN RED CEDAR		7'	2'-5"	SINGLE STRAIGHT TRUNK, FULL TO GROUND, B&B
3	PA	VEEA ABIES	NORWAY SPRUCE		6"	2'-3"	SINGLE STRAIGHT TRUNK, FULL TO GROUND, B&B
6	PS	PRINUS STROBUS	EASTERN WHITE PINE - SOFT SHEARED		7'	2'-5"	SINGLE STRAIGHT TRUNK, FULL TO GROUND, B&B



**JMR ENGINEERING, LLC**  
PROFESSIONAL CIVIL ENGINEERING • LAND PLANNING SERVICES  
108 SCHUBERT DRIVE ~ DOWNTOWN, PA 19335  
VOICE: (484) 880-7342  
EMAIL: ADMIN@JMRENGINEERING.COM  
WEBSITE: WWW.JMRENGINEERING.COM



**JOHN M. ROBINSON**  
PROFESSIONAL ENGINEER  
PENNSYLVANIA LICENSE NO. PE056271

**UTILITY USERS LIST**

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TYKAS EASTERN TRANSMISSION, LP	
AT&T LOCAL SERVICES	
TRANSCONTINENTAL GAS PIPELINE	
BUCKEYE PARTNERS	
VERISON PENNSYLVANIA, INC.	
COMCAST CABLE	
WEST WHITELAND TOWNSHIP	
COMCAST CABLE COMMUNICATIONS, INC.	
WILET COMMUNICATIONS, LLC	
EAST WHITELAND TOWNSHIP	
LEVELS COMMUNICATIONS	
PECO ENERGY	
FPL INTERSTATE ENERGY COMPANY	
SUNOCO PIPELINE, LP	

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1-800-242-1776  
POCS SERIAL NUMBER:  
20180261664 (WWT),  
20180261665 (CWT)

**PLAN REVISIONS**

REV	DATE	DESCRIPTION OF CHANGES
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4	02/03/26	UPDATED MRC CONVEYANCE NETWORKS

**PRELIMINARY/FINAL LAND DEVELOPMENT PLAN FOR DATA CENTERS**

LOCATION:  
215 VALLEY CREEK BLVD.  
EXTON, PA 19341  
WEST WHITELAND TOWNSHIP  
CHESTER COUNTY, PA

TAX PARCEL NUMBER:  
41-3-4

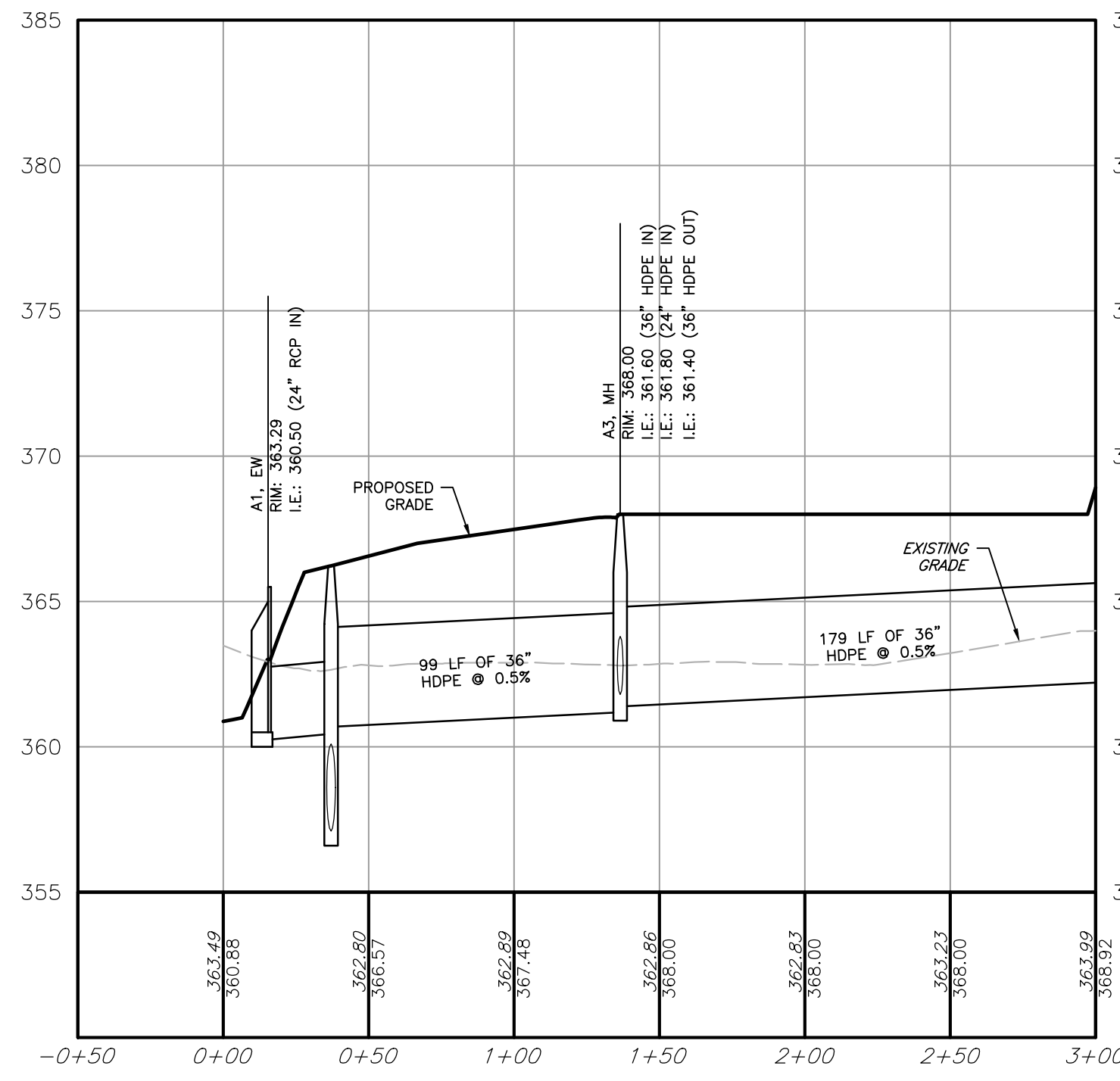
CLIENT:  
**SENTINEL GREEN FIG, LLC**  
505 5TH AVE, FLOOR 27  
NEW YORK, NY 10017

PROJECT No.: 1508-B  
SURVEY REF.: 1195-B (DSS)  
DRAWN BY: E.C.R.  
CHECKED BY: J.M.R.  
PLAN DATE: JANUARY 31, 2024  
PLAN SCALE: 1" = 60'

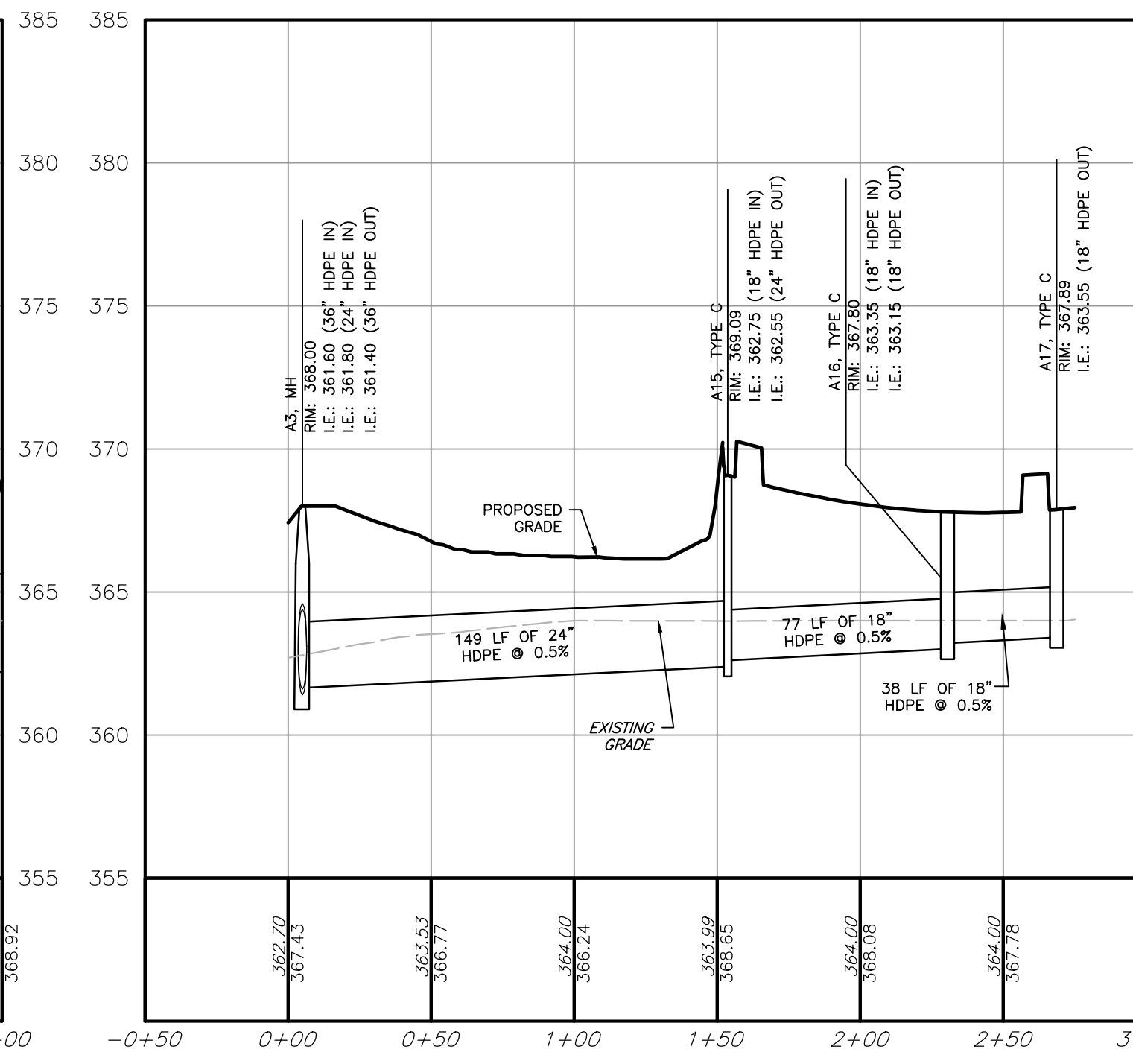
**LANDSCAPE PLAN**

SHEET TITLE:  
SHEET NUMBER:  
**9 OF 13**

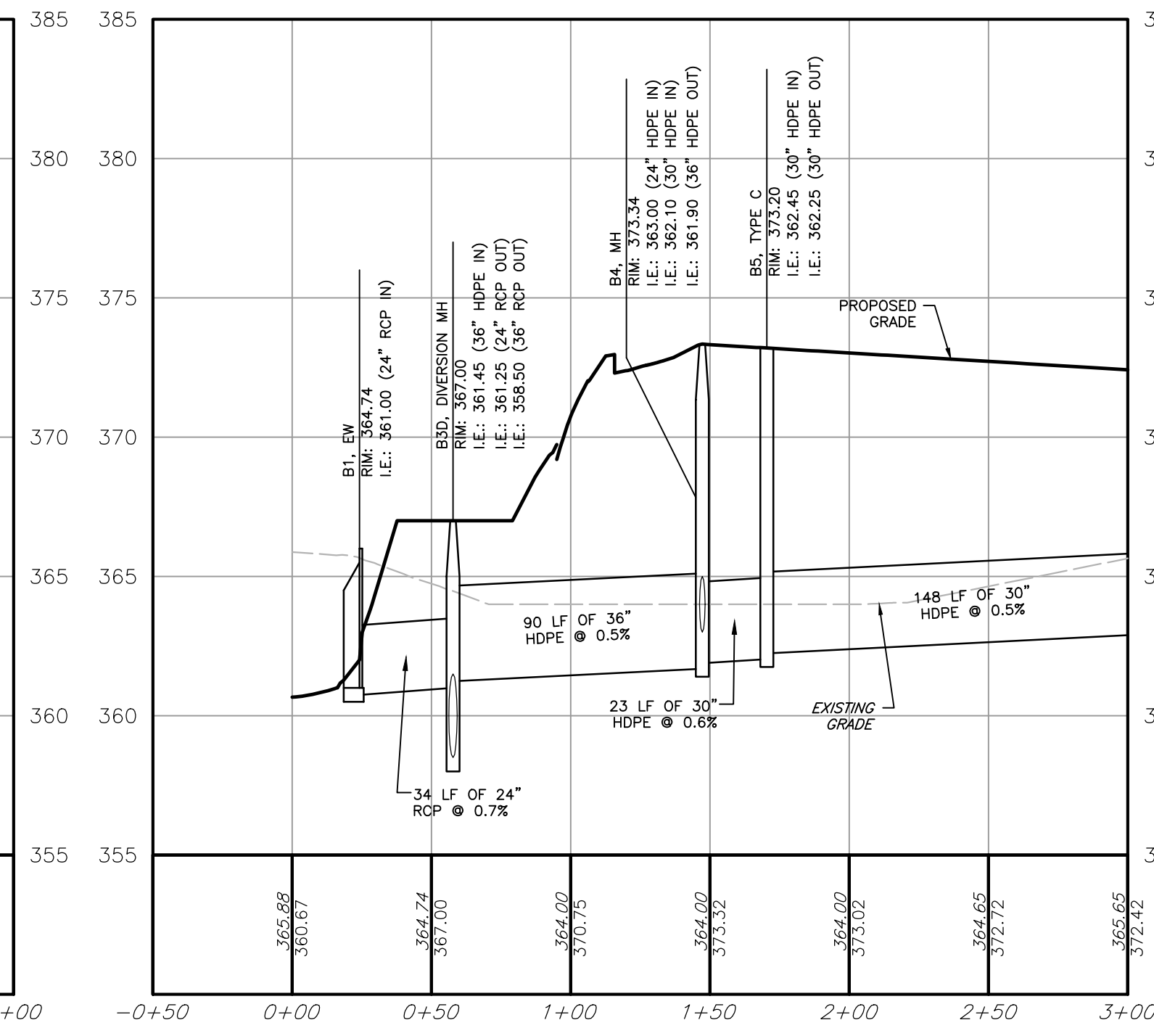
Plot Date: Tue, Feb. 03, 2026  
File: 10.LANDSCAPE.DWG



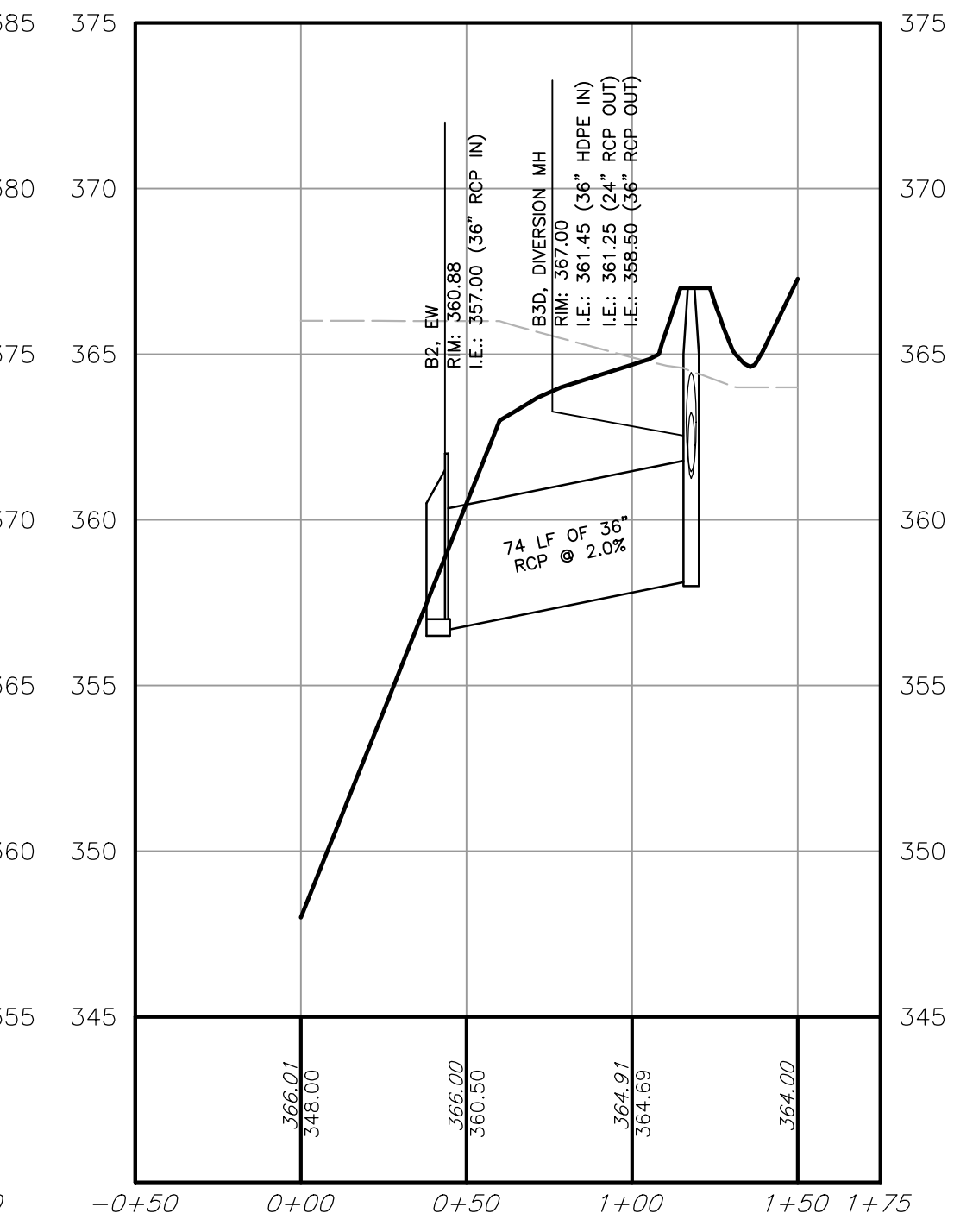
**STORM A (1)**  
HORIZ. 1" = 50'  
VERT. 1" = 5'



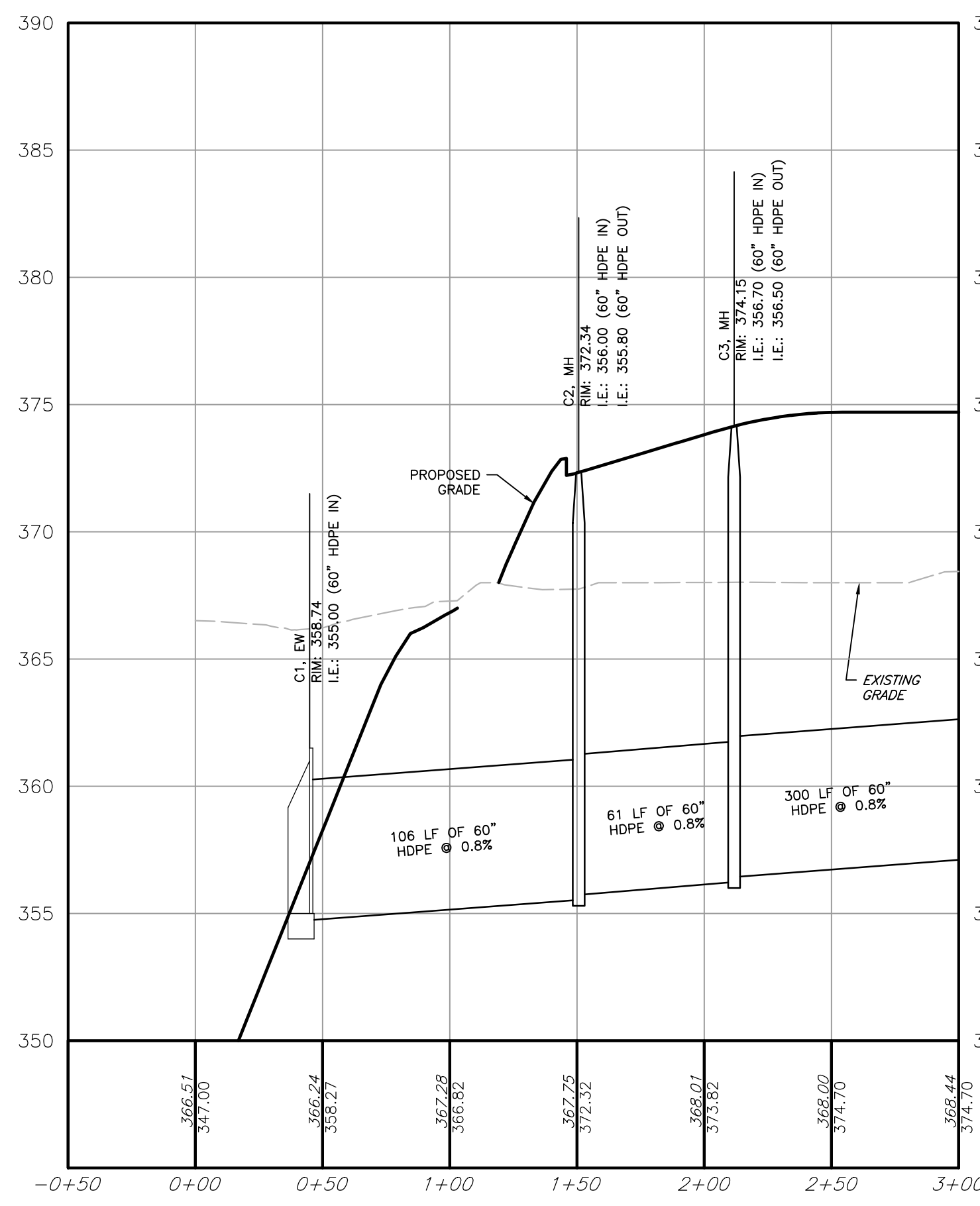
**STORM A (4)**  
HORIZ. 1" = 50'  
VERT. 1" = 5'



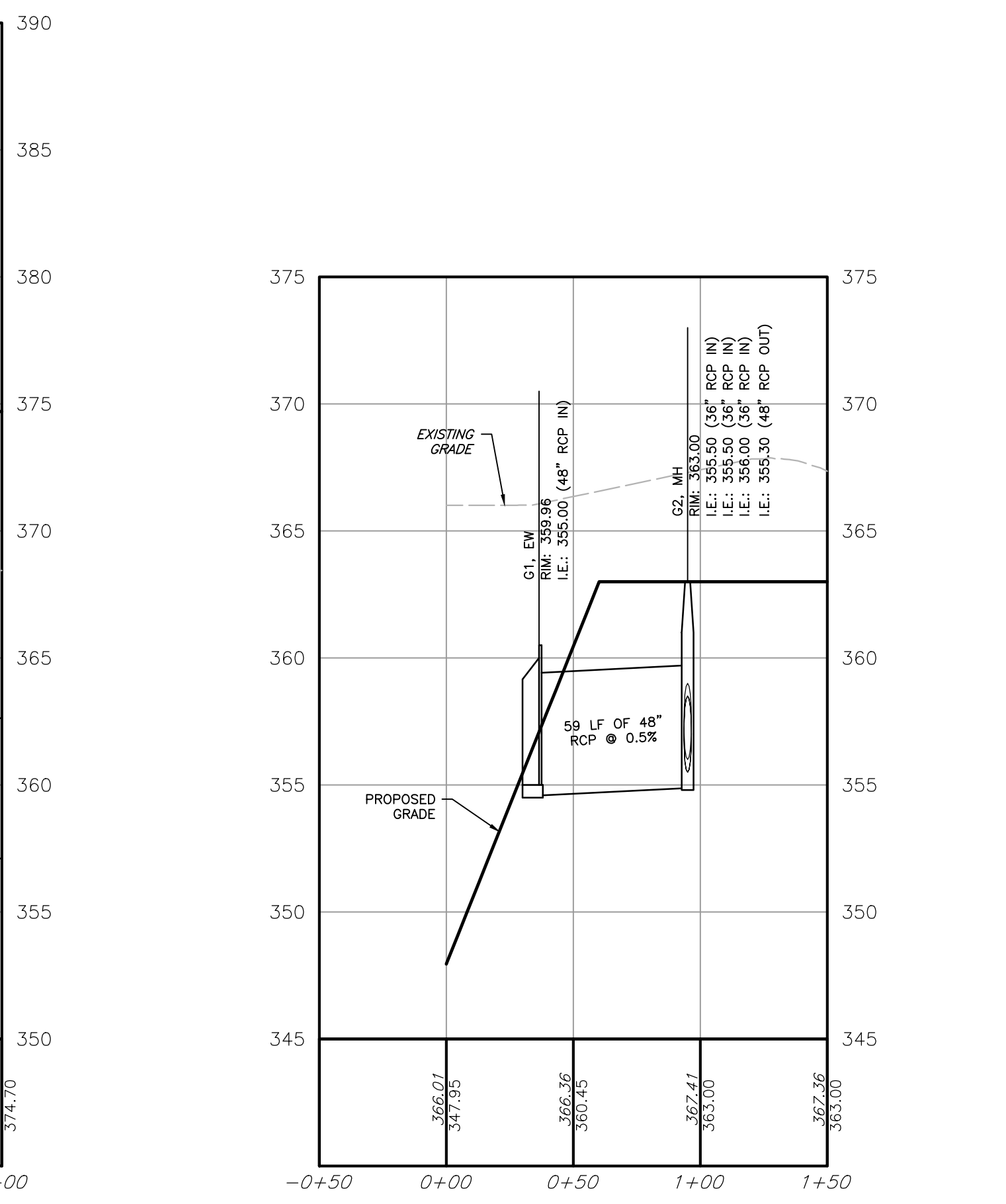
**STORM B (1)**  
HORIZ. 1" = 50'  
VERT. 1" = 5'



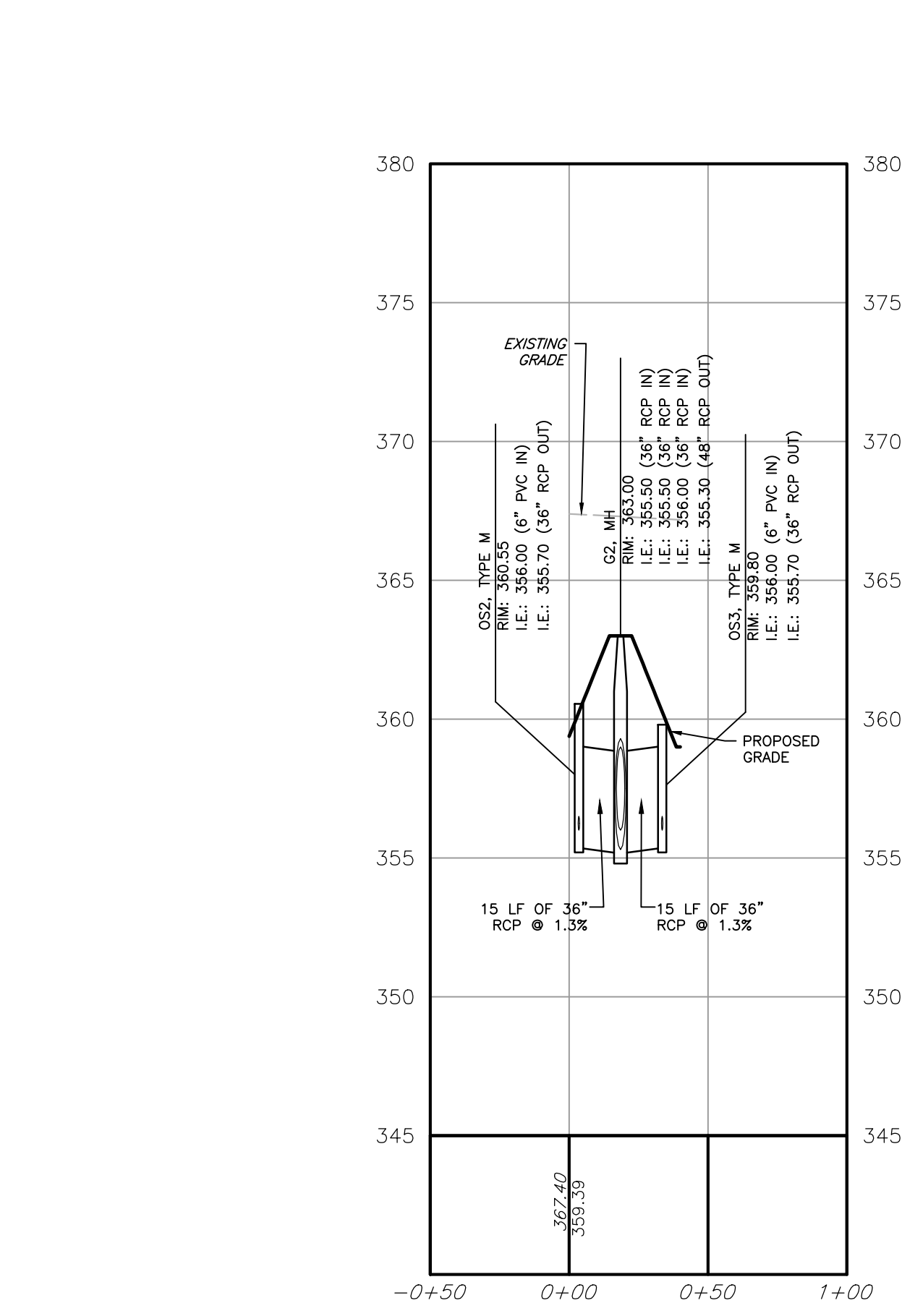
**STORM B (3)**  
HORIZ. 1" = 50'  
VERT. 1" = 5'



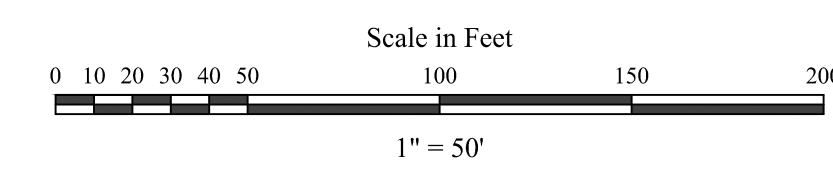
**STORM C (1)**  
HORIZ. 1" = 50'  
VERT. 1" = 5'



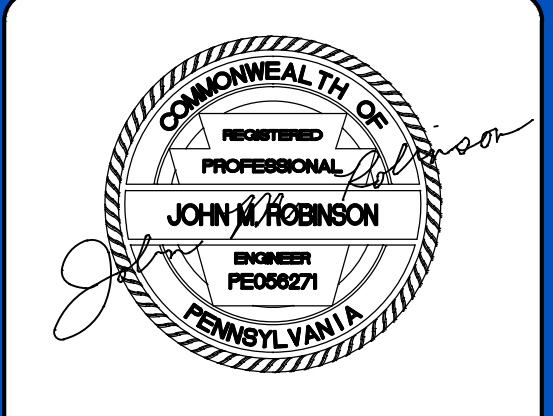
**STORM J (1)**  
HORIZ. 1" = 50'  
VERT. 1" = 5'



**STORM G (2)**  
HORIZ. 1" = 50'  
VERT. 1" = 5'



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LEVEL3 COMMUNICATIONS	
PECO ENERGY	
FPL INTERSTATE ENERGY COMPANY	
SUNCO'S, INC.	
SUNOCO PIPELINE, LP	

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PENNSYLVANIA LAW REQUIRES THE OPERATOR OF ANY UNDERGROUND UTILITY (PIPE) TO AT LEAST 3 DAYS BEFORE THE COMMENCEMENT OF CONSTRUCTION, AND ENGINEERING, LLC USES THE SERVICES OF THE COMMONWEALTH OF PENNSYLVANIA TO LOCATE AND MARK ALL UTILITIES. THE OPERATOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.  
1-800-242-1776  
POCS SERIAL NUMBER:  
20180261664 (WWT),  
20180261665 (EWT)

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PLAN SCALE: AS SHOWN

SHEET TITLE:  
**PROFILES**  
SHEET NUMBER:  
**10 OF 13**  
Plot Date: Tue, Feb. 03, 2026  
File: 11 PROFILES.DWG





**PERFORMANCE AND INSPECTION OF REGULATED ACTIVITIES**

- ALL REGULATED ACTIVITIES SHALL BE CONDUCTED, OPERATED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH IN ARTICLES III, VII AND VIII OF THIS CHAPTER. WHEN A SWM SITE PLAN IS REQUIRED BY THIS CHAPTER, ALL REGULATED ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE FINAL APPROVED SWM SITE PLAN.
- THE TOWNSHIP ENGINEER OR OTHER TOWNSHIP DESIGNEE SHALL BE PROVIDED ACCESS TO THE SITE TO INSPECT ALL PHASES OF THE EROSION AND SEDIMENT CONTROL MEASURES AND INSTALLATION OF THE PERMANENT BMPs AND CONVEYANCES AT SUCH TIMES AS DEEMED APPROPRIATE BY THE TOWNSHIP ENGINEER OR OTHER TOWNSHIP DESIGNEE.
- PERIODIC INSPECTIONS MAY BE MADE BY THE TOWNSHIP ENGINEER OR OTHER DESIGNEE DURING CONSTRUCTION. A SET OF DESIGN PLANS APPROVED BY THE TOWNSHIP SHALL BE ON FILE AND AVAILABLE FOR VIEWING AT THE SITE THROUGHOUT THE DURATION OF THE CONSTRUCTION ACTIVITY.
- INSPECTIONS, INCLUDING BUT NOT LIMITED TO A FINAL INSPECTION, OF ALL CONSTRUCTED BMPs, CONVEYANCES, OR OTHER STORMWATER FACILITIES, AND RELATED IMPROVEMENTS MAY BE CONDUCTED BY THE TOWNSHIP ENGINEER OR OTHER DESIGNEE TO CONFIRM COMPLIANCE WITH THIS CHAPTER AND WITH THE FINAL APPROVED SWM SITE PLAN PRIOR TO THE ISSUANCE OF ANY OCCUPANCY PERMIT, USE PERMIT, OR OTHER FORM OF FINAL APPROVAL OF THE PROJECT BY THE TOWNSHIP. DURING ANY STAGE OF THE WORK, THE TOWNSHIP MAY PURSUE ENFORCEMENT FOR VIOLATIONS CONSISTENT WITH THE PROVISIONS OF ARTICLE IX.
- IF AN NPDES PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES WAS REQUIRED FOR THE REGULATED ACTIVITY, A NOTICE OF TERMINATION (NOT) APPROVAL MUST BE OBTAINED UPON COMPLETION OF CONSTRUCTION PRIOR TO FINAL APPROVAL OF THE PROJECT BY THE MUNICIPALITY.
- UPON COMPLETION OF CONSTRUCTION, EVERY PERMANENT STORMWATER BMP, CONVEYANCE OR OTHER STORMWATER MANAGEMENT FACILITY CONSTRUCTED OR USED AS PART OF THE REGULATED ACTIVITY SHALL BE OPERATED, MAINTAINED AND INSPECTED BY THE LANDOWNER, OR OTHER DESIGNATED PERSON, IN ACCORDANCE WITH THE O&M PLAN AND O&M AGREEMENT APPROVED BY THE TOWNSHIP.
- THE TOWNSHIP OR ITS DESIGNEE MAY PERIODICALLY INSPECT ANY PERMANENT STORMWATER BMP, CONVEYANCE OR STORMWATER MANAGEMENT FACILITY FOR COMPLIANCE WITH THIS CHAPTER, AN APPROVED O&M PLAN, OR AN APPROVED O&M AGREEMENT, PER THE PROVISIONS OF ARTICLE IX. THE TOWNSHIP MAY INSPECT AT ANY TIME IT HAS REASON TO BELIEVE A VIOLATION EXISTS. THE TOWNSHIP MAY PURSUE ENFORCEMENT FOR VIOLATIONS CONSISTENT WITH THE PROVISIONS OF ARTICLE IX.

**WET POND SEQUENCE OF CONSTRUCTION**

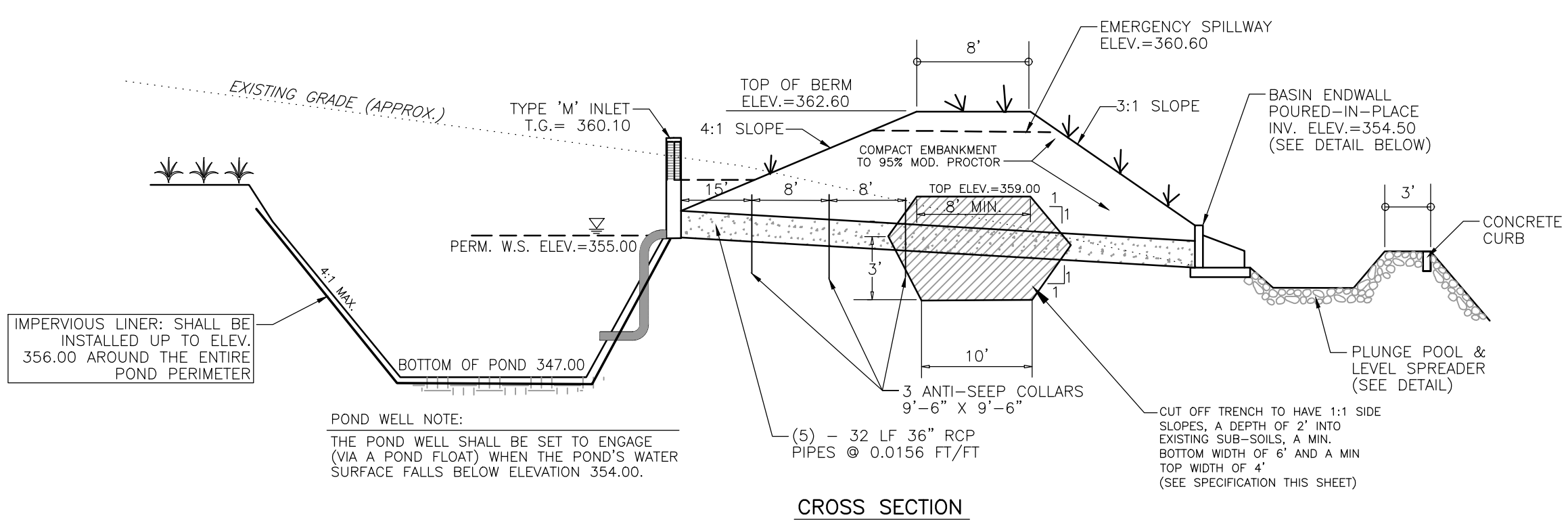
- NOTIFY THE TOWNSHIP ENGINEER, IN WRITING, A MINIMUM OF 72 HOURS PRIOR TO STARTING CONSTRUCTION OF THE PROPOSED BMP.
- THE PROPOSED BMP HAS BEEN DESIGNED UTILIZING AN IMPERVIOUS LINER TO PREVENT WATER TRANSFER TO THE UNDERLYING KARST GEOLOGIC FORMATION; THEREFORE, THERE IS NO REQUIREMENT TO PROTECT OR PREVENT THE EXISTING SUB-GRADE FROM BEING COMPACTED OR SUBJECT TO EXCESSIVE CONSTRUCTION EQUIPMENT TRAFFIC.
- THE FACILITY WILL BE INSTALLED DURING INITIAL GRADING ACTIVITIES A SEDIMENT TRAP AND WILL THEN BE CONVERTED TO FINAL CONDITION IN THE FINAL PHASES OF SITE CONSTRUCTION TO PREVENT SEDIMENTATION AND/OR DAMAGE FROM CONSTRUCTION ACTIVITY. AFTER THE INSTALLATION HAS BEEN COMPLETED, THE CONTRACTOR SHALL SURROUND THE BMP WITH SILT SOCK OR SILT FENCE TO PREVENT SEDIMENT FROM ENTERING THE SOIL MEDIA AND BMP FOOTPRINT.
- REMOVE THE STONE BERM AND FAIRCLOTH SKIMMER DEVICE.
- BRING POND AND MRC FACILITIES TO GRADE AND INSTALL IMPERMEABLE LINERS.
- GRADE THE BASIN BOTTOM TO THE ELEVATIONS DETAILED ON THE PLAN AND IMMEDIATELY STABILIZE THE DISTURBED AREAS WITH THE PERMANENT SEED MIXTURE, MULCH AT 3 TONS ACRE, AND LIME AS PRESCRIBED.
- IN ACCORDANCE WITH §270-29(a)(7) PERMANENT GRASSES OR STABILIZATION MEASURES SHALL BE ESTABLISHED ON THE SIDES OF ALL EARTHEN BASINS BY HYDROSEEDING WITHIN 5 DAYS OF INITIAL CONSTRUCTION.

**WET POND MAINTENANCE NOTES:**

- THE WET POND HAS BEEN DESIGNED TO RECEIVE OVERFLOW FROM THE FOUR (4) MRC FACILITIES LOCATED UP GRADIENT OF THE BASIN TO CONTROL THE RATE OF STORMWATER LEAVING THE SITE AND ENTERING THE SURFACE WATERS. THE FACILITY SHALL BE INSPECTED AFTER ALL STORM EVENTS TO ENSURE IT IS FUNCTIONING PROPERLY. THE GOAL OF THE INSPECTION AND MAINTENANCE CRITERIA IS TO ENSURE THE STORMWATER MANAGEMENT FACILITY FUNCTIONS AS INTENDED OVER ITS LIFETIME.
- ENSURE THAT THE OUTLET STRUCTURES/TRASH RACKS ARE FREE OF FLOATABLES AND DEBRIS THAT COULD BLOCK THE OUTFALL AND CAUSE THE DETENTION POND TO PREMATURELY OVERFLOW.
- ENSURE STRUCTURES ARE FREE OF FLOATABLES AND DEBRIS THAT COULD BLOCK THE OUTFALL AND CAUSE THE BASIN TO PREMATURELY OVERFLOW.
- VERIFY THAT THE TRASH RACK IS FREE OF DEBRIS.
- VERIFY THAT THE STILLING BASIN IS NOT SILTED IN AND THAT THERE IS NO EROSION AT THE DOWNSTREAM END.
- VERIFY THAT NO EROSION HAS OCCURRED WITHIN THE RAIN GARDEN. ALL EROSION AND RILLS SHALL BE REPAIRED IMMEDIATELY AND ESTABLISHED. IF RILLS OR EROSION CONTINUES, CONTACT THE DESIGN ENGINEER.
- WHILE VEGETATION IS BEING ESTABLISHED, PRUNING AND WEEDING MAY BE REQUIRED. DEBRIS MAY ALSO NEED TO BE REMOVED EVERY YEAR. PERENNIAL PLANTINGS MAY BE CUT DOWN AT THE END OF THE GROWING SEASON.
- THE VEGETATION (FOR THE BMP AND CONTRIBUTING DRAINAGE AREA) SHOULD BE MAINTAINED IN GOOD CONDITION, ANY BARE SPOTS SHALL BE REVEGETATED.
- THE DETENTION POND SHOULD BE INSPECTED AT LEAST TWO TIMES PER YEAR FOR SEDIMENT BUILDUP, EROSION AND VEGETATIVE CONDITIONS. LEAF LITTER SHOULD BE REMOVED ANNUALLY.
- AFTER SEDIMENT REMOVAL, THE BASIN BOTTOM SHALL BE RE-PLANTED WITH THE APPROPRIATE SEED MIX, AS SPECIFIED ON THIS PLAN.

**SCM-1 OUTLET STRUCTURE NOTES:**

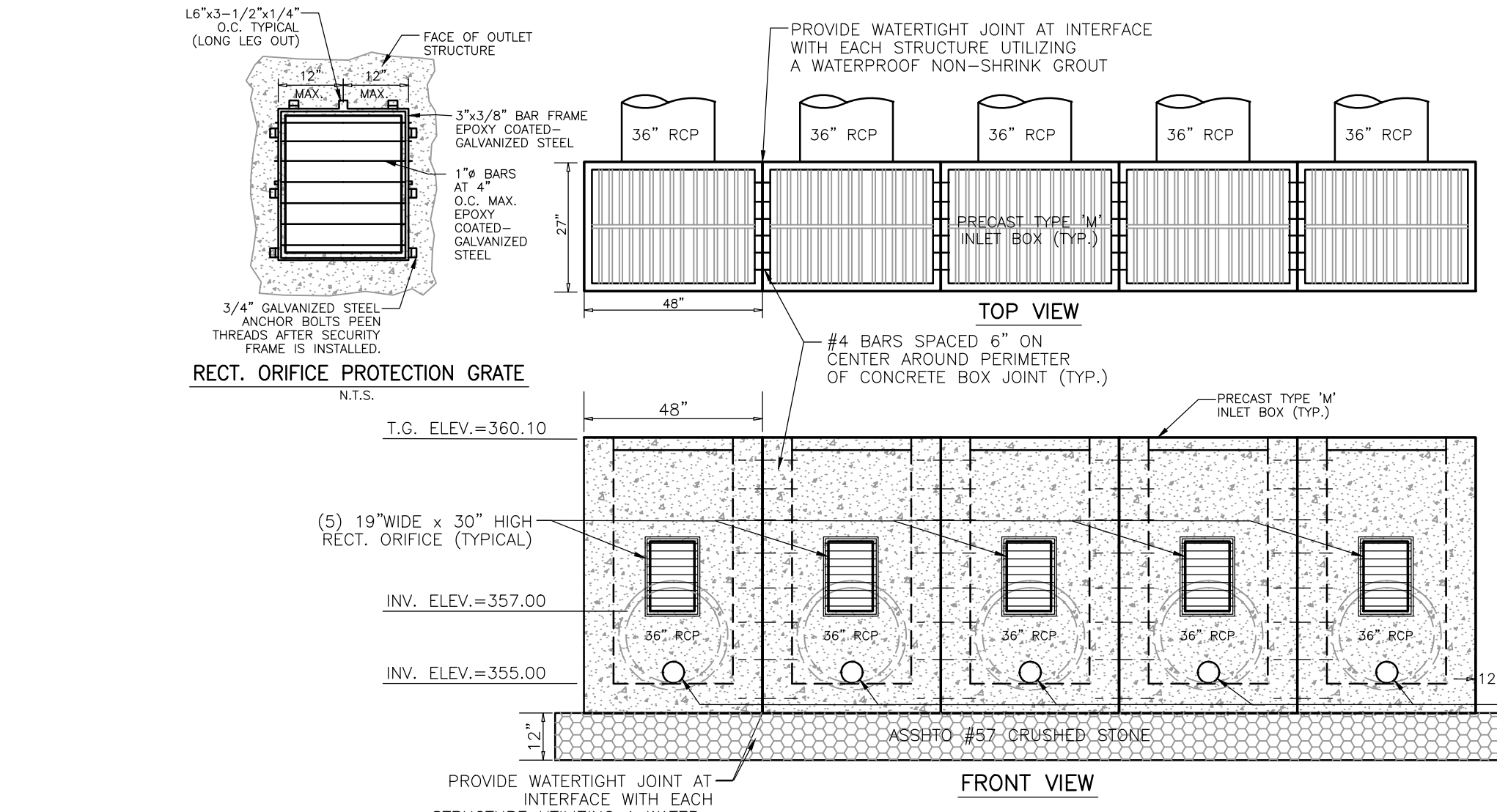
- THE OUTLET STRUCTURE, PLUNGE POOL, LEVEL SPREADER AND RIPRAP LINED CHANNEL FOR THE WET POND, BMP-01, WERE CONSTRUCTED CIRCA 2010 WITH A PREVIOUSLY APPROVED DEVELOPMENT PLAN FOR THE SITE. THAT PREVIOUS PROJECT WAS NEVER COMPLETED AND EVENTUALLY, THE SEDIMENT TRAP AND OUTLET STRUCTURE WERE BURIED.
- THIS PROJECT IS PROPOSING TO UNCOVER THE EXISTING OUTFALL STRUCTURE.
- THE OUTLET STRUCTURE, PLUNGE POOL, LEVEL SPREADER AND RIP RAP LINED CHANNEL SHALL BE ASSESSED FOR ANY DAMAGE AND APPROPRIATELY REPAIRED AND SUBSEQUENTLY MAINTAINED IN ACCORDANCE WITH THE DETAILS PROVIDED ON THIS PLAN.



CROSS SECTION

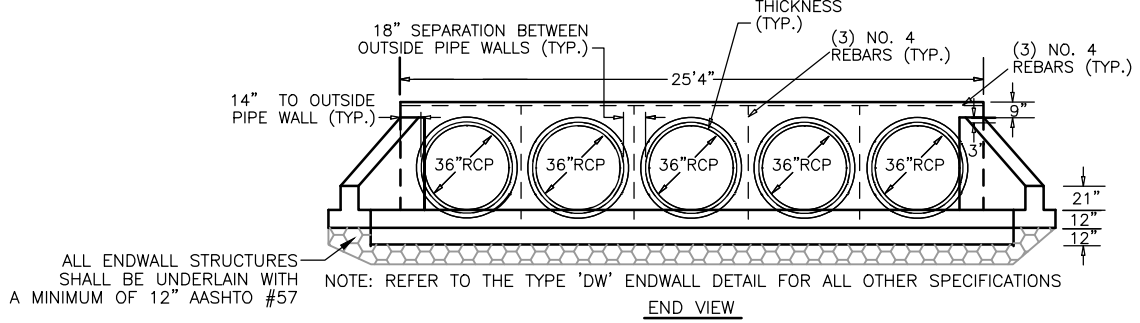
**SCM-1 WET POND DETAIL**

NOT TO SCALE



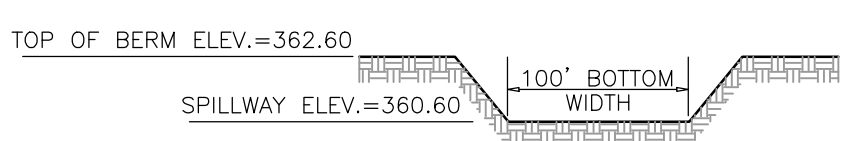
**SCM-1 TYPE 'M' INLET OUTLET CONTROL STRUCTURE DETAIL**

NOT TO SCALE



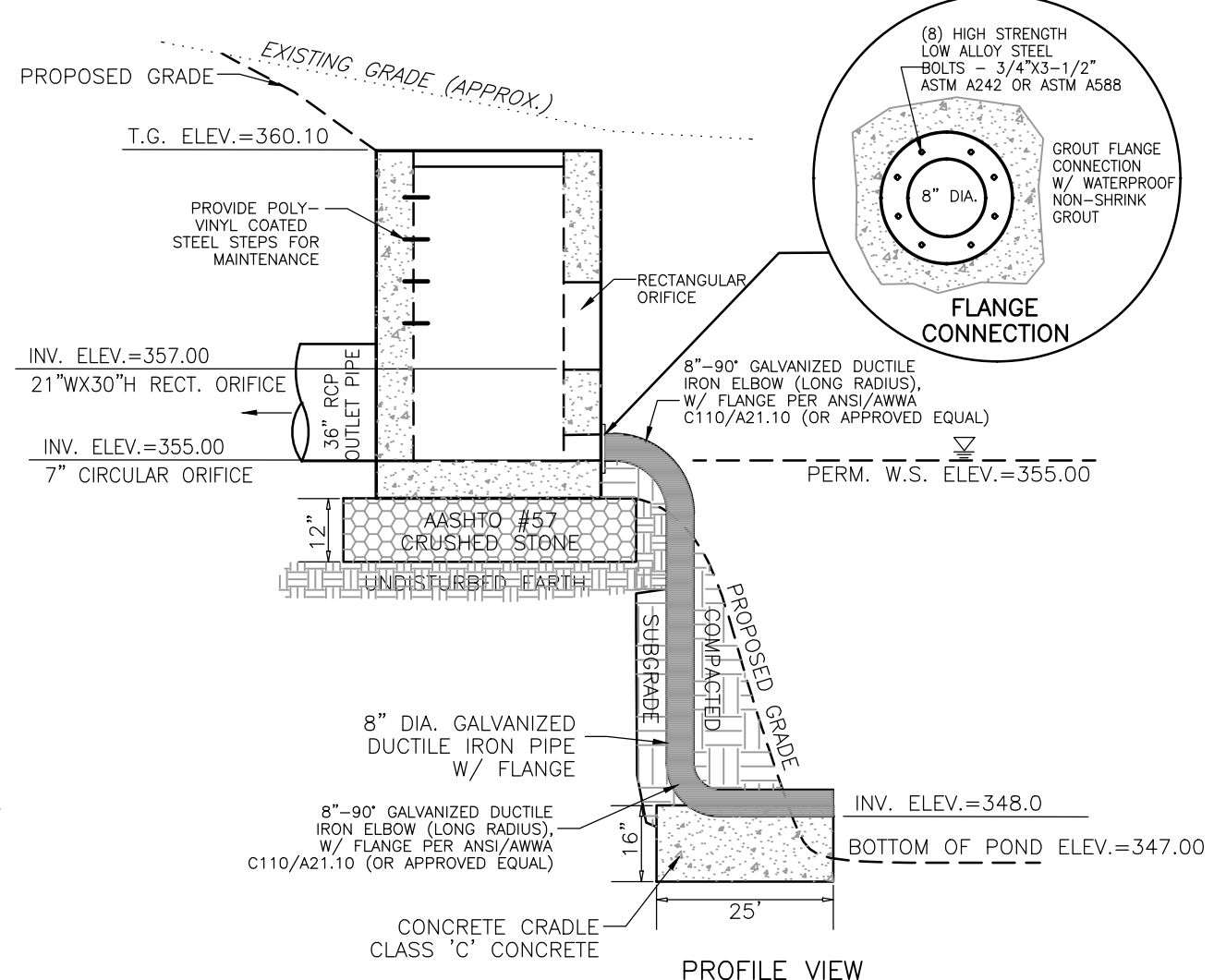
**SCM-1 WET POND ENDWALL DETAIL**

NOT TO SCALE

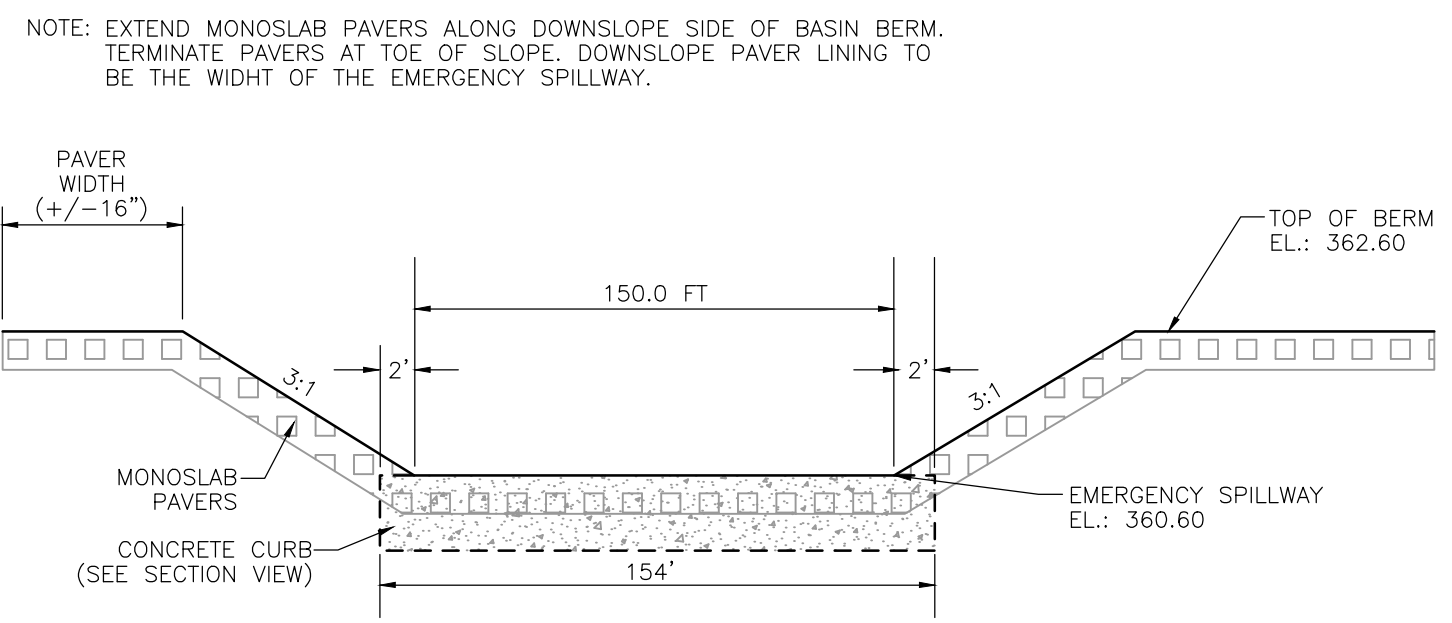


**EMERGENCY SPILLWAY (SEE MONOSLAB PAVER DETAIL)**

NOT TO SCALE

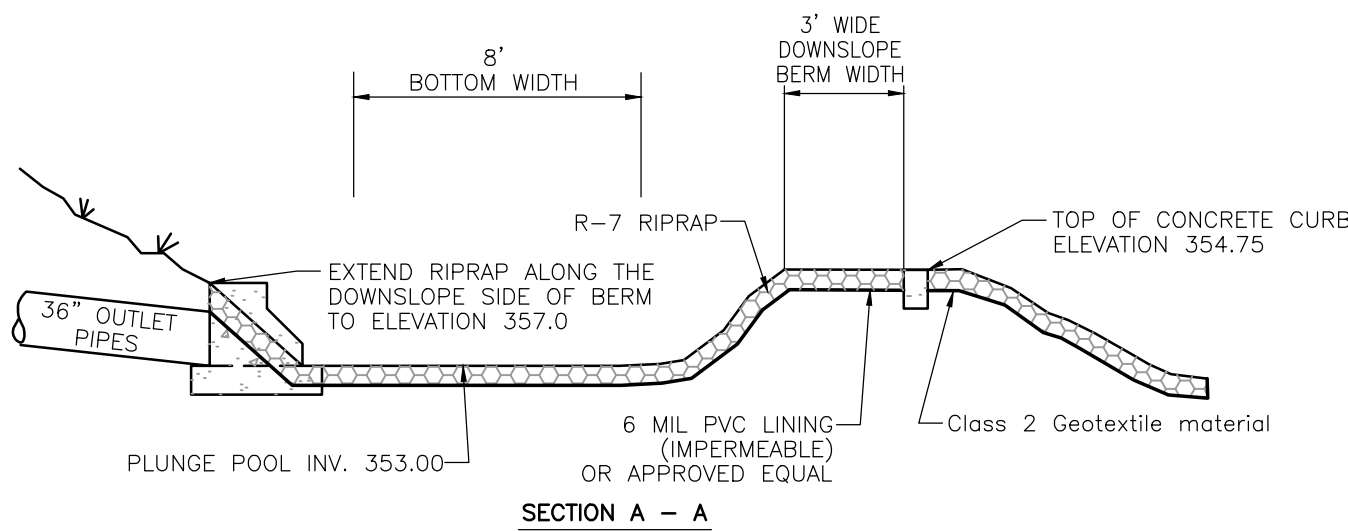


**PROFILE VIEW**

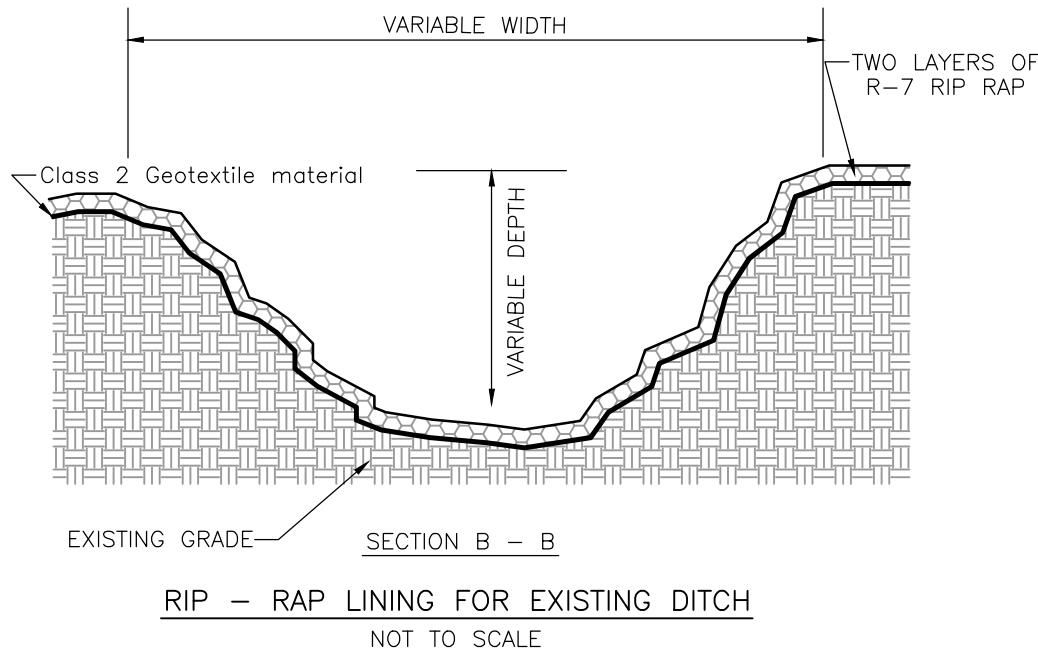


**SCM-1 MONOSLAB PAVER EMERGENCY SPILLWAY DETAIL**

NOT TO SCALE

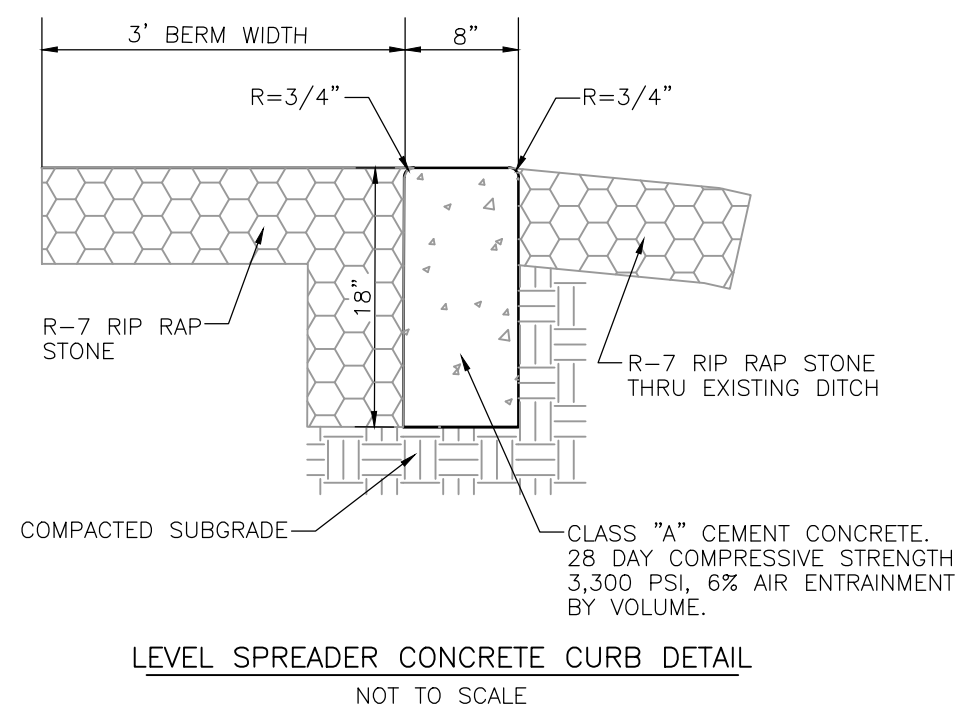


INV. BARREL OUTLET	INV. OF PLUNGE POOL	TOP OF CONCRETE CURB
354.50	353.00	354.75



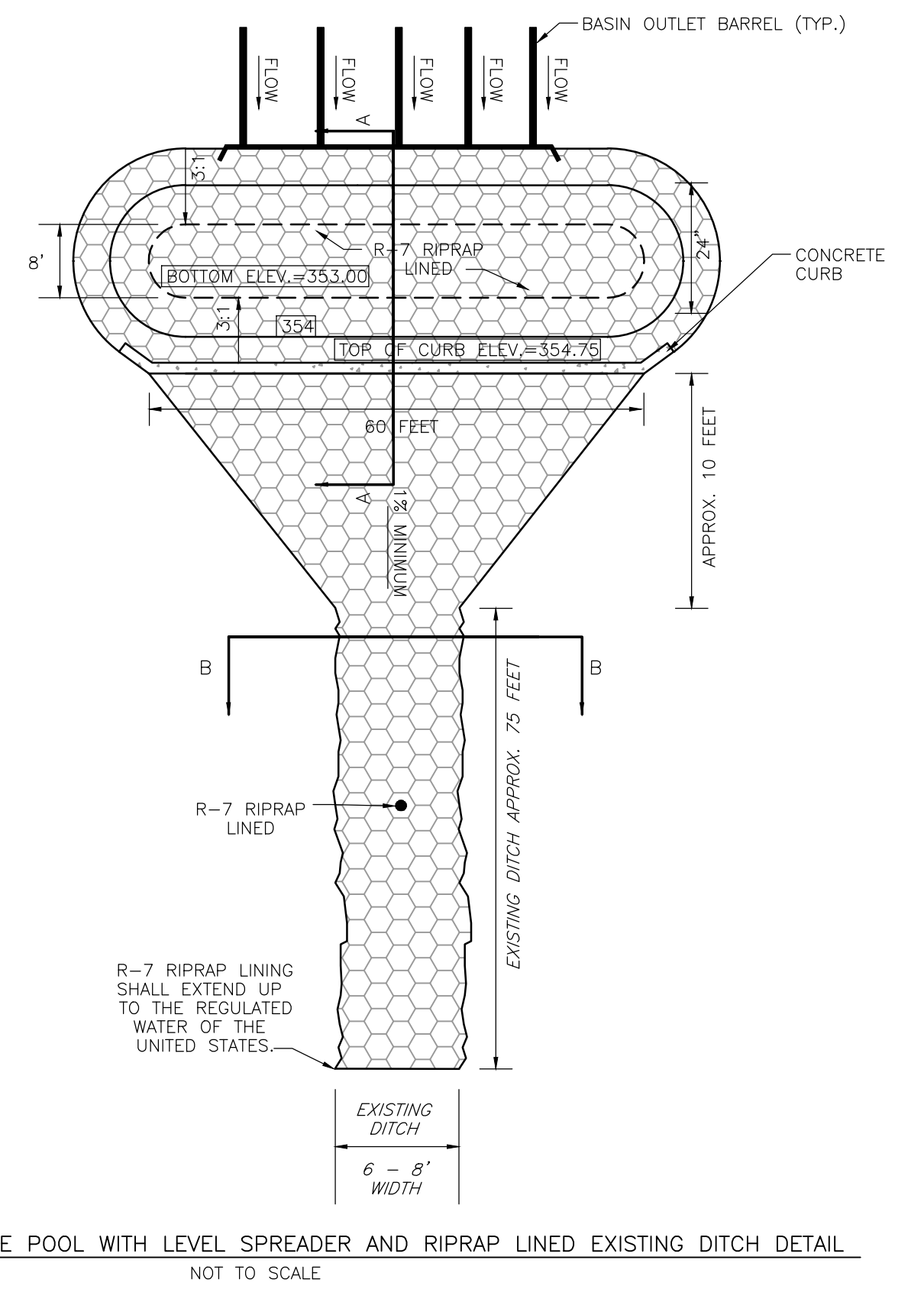
**RIP - RAP LINING FOR EXISTING DITCH**

NOT TO SCALE



**LEVEL SPREADER CONCRETE CURB DETAIL**

NOT TO SCALE

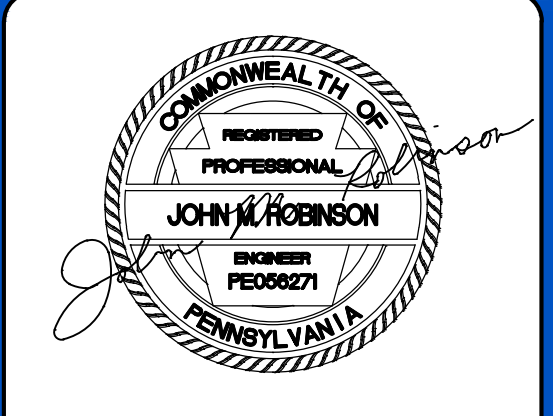


**SCM-1 RIPRAP LINED PLUNGE POOL WITH LEVEL SPREADER AND RIPRAP LINED EXISTING DITCH DETAIL**

NOT TO SCALE

**NOTE:**  
SEE SHEET NUMBERS 5, 6, 11 & 12 FOR PCSM PLAN NOTES, DETAILS AND OPERATION & MAINTENANCE PROCEDURES.

**JMR ENGINEERING, LLC**  
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LEVEL3 COMMUNICATIONS	
PECO ENERGY	
PHIL INTERSTATE ENERGY COMPANY	
SUNOCO PIPELINE, LP	

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PROVIDING YOU WITH THE INFORMATION YOU NEED TO AVOID UNDERGROUND UTILITY DAMAGE AT LEAST 3 DAYS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. JMR ENGINEERING, LLC DOES NOT GUARANTEE THE ACCURACY OF THE LOCATION OR DEPTH OF ANY UTILITIES SHOWN ON THIS PLAN. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. 1-800-242-1776  
 PCCS SERIAL NUMBER: 20180261664 (WWT), 20180261665 (CWT)

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 PLAN SCALE: AS SHOWN

**SHEET TITLE: PCSM DETAILS**

SHEET NUMBER:  
 12 OF 13

Plot Date: Tue, Feb. 03, 2026  
 File: 14 PCSM DETAILS.DWG

